

LOUDEN RESIDENCE CONSTRUCTION SET



CONCEPTUAL PROJECT IMAGE



VICINITY MAP

LEGAL DESCRIPTION:

LAKEMONT ADD UNREC PARCEL A MERCER
ISLAND SHORT NO 79-06-17 REC NO 7909100629
SD PLAT DAF - ALL TR 3 & SH LDS ADJ

CONTACT INFORMATION:

ARCHITECT:
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ENERGY/MECHANICAL CODE COMPLIANCE:

- 1) WORK TO COMPLY WITH THE 2015 WSEC AND 2015 IMC.
- 2) FOR ADDITIONS LESS THAN 500 SF, .5 ENERGY CREDITS ARE REQUIRED. OPTION 1A SHALL BE PROVIDED FOR NEW WALLS, FLOORS AND ROOFS.

3) ALL NEW BUILDING ELEMENTS WILL FOLLOW THE PRESCRIPTIVE REQUIREMENTS:

VERTICAL WINDOW ASSEMBLY (U):	0.28
OVERHEAD GLAZING ASSEMBLY (U):	0.50
DOOR ASSEMBLY (U):	0.30
CEILING:	R38 ADV. or R-49
VAULTED CEILING:	R-38
WALL ABOVE GRADE:	R-21 INT
WALL INT. BELOW GRADE:	R-21 TB
WALL EXT. BELOW GRADE:	R-10
FLOOR:	R-38
SLAB ON GRADE & PERIMETER:	R-10

4) A MINIMUM OF 75 PERCENT OF ALL LIGHT FIXTURES SHALL BE HIGH EFFICACY PER WAC 51-11R.

5) PERMANENTLY MOUNTED EXTERIOR LIGHTS FIXTURES WILL BE HIGH EFFICACY UNLESS EQUIPPED WITH BUILT-IN PHOTO CONTROL SENSOR PER WSEC 505.2.

6) ALL BATHROOMS AND TOILET ROOMS TO BE EQUIPPED WITH A MINIMUM 50 CFM INTERMITTENTLY OPERATING SOURCE SPECIFIC EXHAUST FAN. ALL KITCHENS TO BE EQUIPPED WITH A MINIMUM 100 CFM INTERMITTENTLY OPERATING SOURCE SPECIFIC EXHAUST FAN PER IRC M 1507.4.

01

PROJECT DATA:

PARCEL NUMBER: 413930-0015
PROJECT ADDRESS: 3315 97TH AVE SE

LOT SIZE: 22,355 SF

ZONE: R8.4

OCCUPANCY TYPE: R-3

CONSTRUCTION TYPE: V-B

AUTOMATIC SPRINKLER SYSTEM: EXIST

PROJECT DESCRIPTION:
REMODEL EXISTING INTERIOR OF HOME,
REPLACE EXISTING PATIO ROOF, RENOVATE
EXTERIOR FINISHES

SHEET LIST:

GENERAL:
G0.0 TITLE SHEET
G0.1 GENERAL CONDITIONS + ABBREVIATIONS

SURVEY

ARCHITECTURAL:

A0.1 SITE PLAN AREA CALCULATIONS
A0.2 FLOOR AREA CALCULATIONS

D2.0 DEMOLITION PLANS
D3.0 DEMOLITION BUILDING ELEVATIONS
D3.1 DEMOLITION BUILDING ELEVATIONS

A2.0 FIRST FLOOR PLAN - SOUTH
A2.1 FIRST FLOOR PLAN - NORTH
A2.2 SECOND FLOOR PLAN - PARTIAL

A3.0 BUILDING ELEVATIONS
A3.1 BUILDING ELEVATIONS / OPENING SCHED

A4.0 WALL SECTIONS
A4.1 BUILDING SECTIONS / DETAILS

STRUCTURAL:

S1.0 GENERAL NOTES & ABBREVIATIONS

S2.1 BASEMENT FOUNDATION PLAN
S2.2 MAIN FLOOR FRAMING PLAN
S2.3 2ND FLOOR FRAMING PLAN
S2.4 EXISTING ROOF FRAMING PLAN

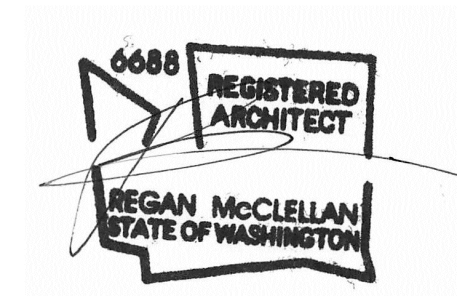
S3.1 FOUNDATION DETAILS

S4.1 TYP FRAMING DETAILS
S4.2 FRAMING DETAILS

PROJECT:
LOUDEN RESIDENCE
3315 97TH AVE SE
MERCER ISLAND, WA

ISSUE:
2020-07-03 REV1

01



DATE:
MARCH 13, 2020

SHEET TITLE:

TITLE SHEET

SHEET:

G0.0

LOUDEN RESIDENCE PERMIT SET

ABBREVIATIONS:

ABV	ABOVE	IBC	INTERNATIONAL BUILDING CODE
ACQST	ACOUSTIC, ACOUSTICAL	INSUL	INSULATION
ACCY	ACCESSORY	INT	INTERIOR
ADDM	ADDENDUM	JB	JUNCTION BOX
ADDL	ADDITIONAL	JNT	JOINT
ADJ	ADJUSTABLE	LAV	LAVATORY
AFF	ABOVE FINISHED FLOOR	LTG	LIGHTING
AFG	ABOVE FINISHED GRADE	MATL	MATERIAL
ALT	ALTERNATE, ALTERNATIVE	MAX	MAXIMUM
ALUM	ALUMINUM	MDO	MEDIUM DENSITY OVERLAY
ANCH	ANCHOR	MDF	MEDIUM DENSITY FIBER BOARD
APPROX	APPROXIMATELY	MECH	MECHANICAL
ARCH	ARCHITECT, ARCHITECTURAL	MFR	MANUFACTURER
BB	BASEBOARD	MIN	MINIMUM
BLDG	BUILDING	MO	MASONRY OPENING
BLKG	BLOCKING	MTL	METAL
BLW	BELOW	N	NORTH
BM	BEAM	(N)	NEW
B/O	BOTTOM OF	NIC	NOT IN CONTRACT
BRD	BOARD	NTS	NOT TO SCALE
BTW	BETWEEN	OCCUP	OCCUPANTS, OCCUPANCY
CAB	CABINET	OL	OCCUPANCY LOAD
CALC	CALCULATION	O/	OVER
CL	CENTERLINE	OC	ON CENTER
CJNT	CONTROL JOINT	OPG	OPENING
CLG	CEILING	OPP	OPPOSITE
CLR	CLEAR	ORD	OVERFLOW ROOF DRAIN
CMU	CONCRETE MASONRY UNIT	PNT	PAINT
CNTR	COUNTER, COUNTER SUNK	PEN	PENETRATION
COL	COLUMN	PERP	PERPENDICULAR
CONC	CONCRETE	PJ	PANEL JOINT
CONT	CONTINUOUS	PL	PROPERTY LINE
CORR	CORRIDOR	PLAM	PLASTIC LAMINATE
CPT	CARPET	PLWD	PLYWOOD
CT	CERAMIC TILE	PR	PAIR
CTR	CENTER	PRELIM	PRELIMINARY
		PT	PRESSURE TREATED
		PTN	PARTITION
DBL	DOUBLE	R	RISER
DEG	DEGREE	REC	RECOMMENDED
DEPT	DEPARTMENT	REF	REFERENCE
DIA	DIAMETER	REFR	REFRIGERATOR
DIM	DIMENSION	REINF	REINFORCED
DISP	DISPENSER	REQD	REQUIRED
DN	DOWN	RET	RETAINING
DS	DOWN SPOUT	R O	ROUGH OPENING
DW	DISHWASHER	S	SOUTH
DWG	DRAWING	SC	SOLID CORE
E	EAST	SCHED	SCHEDULE
EA	EACH	SCWD	SOLID CORE WOOD
EL	ELEVATION	SF	SQUARE FEET, SQUARE FOOT
ELEV	ELEVATOR	SG	SAFETY GLAZING
ENGR	ENGINEER	SHTG	SHEATHING
EQ	EQUAL	SIM	SIMILAR
EQUIP	EQUIPMENT	SPEC	SPECIFICATION
EQUIV	EQUIVALENT	SQ	SQUARE
EXP	EXPANSION, EXPOSED	SS	STAINLESS STEEL
(E), EXST	EXISTING	STD	STANDARD
EXT	EXTERIOR	STL	STEEL
FAB	FABRICATE	STOR	STORAGE
FD	FLOOR DRAIN	STRUCT	STRUCTURAL
FDN	FOUNDATION	T	TEMPERED SAFETY GLASS
FE	FIRE EXTINGUISHER	T&B	TOP AND BOTTOM
FEC	FIRE EXTINGUISHER CABINET	TEMP	TEMPORARY
FF	FINISH FLOOR	T&G	TONGUE AND GROOVE
FIN	FINISH	THRU	THROUGH
FLR	FLOOR	T/O	TOP OF
FT	FEET, FOOT	TOM	TOP OF MASONRY
FTG	FOOTING	TOS	TOP OF STEEL
FUR	FURRING, FURRED	TOSL	TOP OF SLAB
FV	FIELD VERIFY	TOW	TOP OF WALL
		TYP	TYPICAL
GA	GAUGE	UNO	UNLESS NOTED OTHERWISE
GALV	GALVANIZED	VERT	VERTICAL
GC	GENERAL CONTRACTOR	VTO	VENT TO OUTSIDE
GL	GLASS, GLAZING	VTR	VENT THROUGH ROOF
GRT	GROUT	W	WEST
GWB	GYPSPUM WALL BOARD	W/	WITH
		W/O	WITHOUT
HB	HOSE BIB	WND	WINDOW
HD	HEAD	WD	WOOD
HDWD	HARDWOOD	W/R	WATER RESISTANT
HDR	HEADER	WWF	WELDED WIRE FABRIC
HM	HOLLOW METAL		
HORIZ	HORIZONTAL		
HR	HOUR		
HT	HEIGHT		

GENERAL PLAN NOTES:

- 1) REFER TO SHEET A5.0 FOR WALL, FLOOR AND ROOF ASSEMBLY TYPES
- 2) ALL DIMENSIONS ARE TO FACE OF STUD OR FACE OF CONCRETE UNLESS OTHERWISE NOTED
- 3) INTERIOR DOORS TO BE INSTALLED 4-1/2" FROM FACE OF STUD TO EDGE OF ROUGH OPENING IF NOT DIMENSIONED
- 4) ALL WINDOW DIMENSIONS ARE TO ROUGH OPENING
- 5) REFER TO STRUCTURAL DOCUMENTS FOR ALL CONCRETE & FRAMING INFORMATION

GENERAL CONSTRUCTION NOTES:

- 1) THE CONTRACTOR SHALL CAREFULLY STUDY AND COMPARE THE CONTRACT DOCUMENTS WITH EACH OTHER AND WITH INFORMATION FURNISHED BY THE OWNER AND SHALL AT ONCE REPORT TO THE ARCHITECT ERRORS, INCONSISTENCIES OR OMISSIONS DISCOVERED. IF THE CONTRACTOR PERFORMS ANY CONSTRUCTION ACTIVITY KNOWING IT INVOLVES A RECOGNIZED ERROR, INCONSISTENCY OR OMISSION IN THE CONTRACT DOCUMENTS WITHOUT SUCH NOTICE TO THE ARCHITECT, THE CONTRACTOR SHALL ASSUME APPROPRIATE RESPONSIBILITY FOR SUCH PERFORMANCE AND SHALL BEAR AN APPROPRIATE AMOUNT OF THE ATTRIBUTABLE COSTS FOR CORRECTION.
- 2) BEFORE ORDERING MATERIALS OR DOING ANY WORK, THE GENERAL CONTRACTOR AND ALL OF THE SUB-CONTRACTORS SHALL VERIFY ALL MEASUREMENTS ON THE DRAWINGS AND AT THE CONSTRUCTION SITE, AND SHALL BE RESPONSIBLE FOR THEIR CORRECTNESS. NO EXTRA COMPENSATION WILL BE ALLOWED ON ACCOUNT OF DIFFERENCES BETWEEN ACTUAL DIMENSIONS AND THOSE INDICATED ON THE DRAWINGS. ANY DISCOVERED DIFFERENCES SHALL BE REPORTED TO THE ARCHITECTS FOR DESIGN CONSIDERATIONS BEFORE PROCEEDING FURTHER WITH THE WORK. THE CONTRACTOR IS HEREBY ADVISED THAT THE DRAWINGS ARE NOT TO SCALE.
- 3) WORK SHALL CONFORM TO APPLICABLE CODES AND REGULATIONS OF AGENCIES HAVING JURISDICTION.
- 4) CONTRACTOR SHALL KEEP ALL AREAS UNDER CONSTRUCTION CLEAR OF DIRT AND DEBRIS.
- 5) CONTRACTOR SHALL REPAIR DAMAGED SURFACES WHICH WERE DAMAGED BY CONSTRUCTION OR CLEAN-UP, AND CORRECT CONDITIONS TO MATCH SURROUNDING FINISHED CONDITIONS.
- 6) REPETITIVE FEATURES NOT NOTED ON THE DRAWINGS SHALL BE COMPLETELY PROVIDED AS DRAWN IN FULL.
- 7) DIMENSIONS ON DRAWINGS ARE TAKEN TO THE FACE OF CONCRETE AND TO THE FACE OF STUD, UNLESS OTHERWISE NOTED. FIELD VERIFY ALL DIMENSIONS.
- 8) FIELD VERIFY MILLWORK DIMENSIONS AND ALL WINDOW AND DOOR DIMENSIONS.
- 9) PROTECT ALL PORTIONS OF THE EXISTING BUILDING OR SITE NOT SCHEDULED TO BE REMOVED, IF APPLICABLE, AND REPLACE OR REPAIR ALL SUCH ITEMS DAMAGED DURING CONSTRUCTION. PROVIDE PROTECTION AGAINST INCLEMENT WEATHER, WIND, FROST, EXCESSIVE HEAT, VANDALISM, AND ALL WORKERS, DELIVERY PERSONNEL, SUB-CONTRACTORS AND BUILDING INSPECTORS SO AS TO MAINTAIN ALL WORK, MATERIAL, APPARATUS AND FIXTURES FREE FROM DAMAGE, INCLUDING SURFACE SCRATCHES AND BLEMISHES. ALL NEW AND EXISTING WORK LIKELY TO BE DAMAGED SHALL BE APPROPRIATELY COVERED OR PROTECTED AT ALL TIMES. PROTECT ALL PLANTING AREAS FROM FOOT OR WHEEL TRAFFIC, AND AVOID CRUSHING SAME DUE TO STORED MATERIALS.

SYMBOLS:

	WINDOW TYPE
	EXTERIOR DOOR TYPE
	DOOR TYPE
	ASSEMBLY TYPE
	SECTION CALL OUT
	SMOKE DETECTOR
	CARBON MONOXIDE DETECTOR
	100 CFM FAN
	DOWNSPOUT
	FLOOR DRAIN
	HOSE BIB

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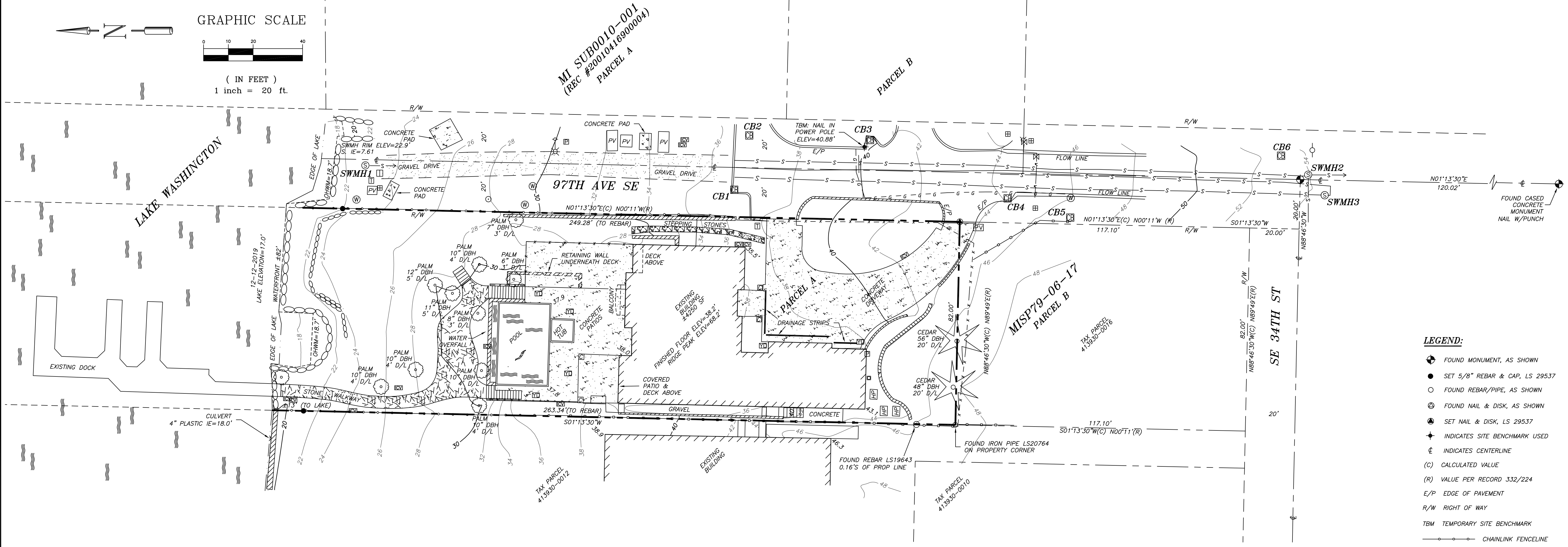
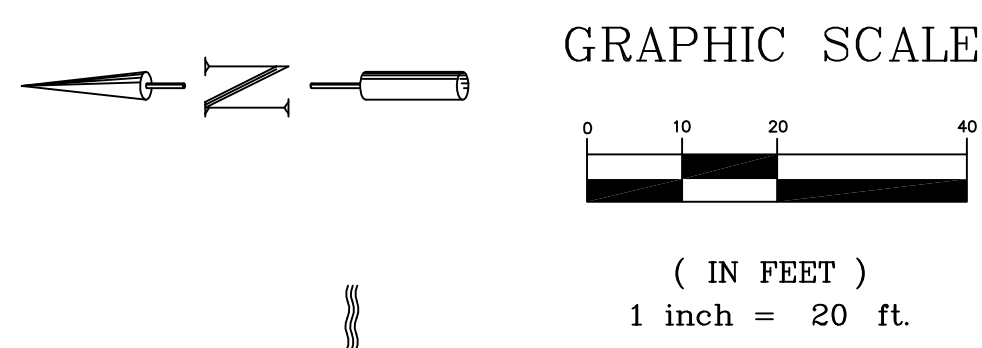
DATE:
MARCH 13, 2020

SHEET TITLE:

GENERAL CONDITIONS +
ABBREVIATIONS

SHEET:

G0.1



- LEGEND:**
- ◆ FOUND MONUMENT, AS SHOWN
 - SET 5/8" REBAR & CAP, LS 29537
 - FOUND REBAR/PIPE, AS SHOWN
 - ⊙ FOUND NAIL & DISK, AS SHOWN
 - ⊙ SET NAIL & DISK, LS 29537
 - ⊕ INDICATES SITE BENCHMARK USED
 - ⊕ INDICATES CENTERLINE
 - (C) CALCULATED VALUE
 - (R) VALUE PER RECORD 332/224
 - E/P EDGE OF PAVEMENT
 - R/W RIGHT OF WAY
 - TBM TEMPORARY SITE BENCHMARK
 - CHAINLINK FENCELINE
 - WOOD FENCELINE
 - RAILING
 - BUILDING COLUMN
 - CB CATCH BASIN
 - COLUMNS
 - ⊕ FIRE HYDRANT
 - ⊕ GAS METER
 - ⊕ HEAT PUMP
 - ⊕ IRRIGATION CONTROL VALVE
 - ⊕ POWER LIGHT POLE
 - POWER POLE
 - VENT?
 - ⊕ POWER METER
 - PV POWER VAULT
 - ⊕ SANITARY SEWER MANHOLE
 - ⊕ TELEPHONE VAULT
 - ★ CONIFEROUS TREE
 - DECIDUOUS TREE
 - ⊕ WATER METER
 - ⊕ WATER MANHOLE
 - ⊕ WATER VALVE
 - WELL MONITOR
 - GAS LINE
 - SANITARY/SEWER LINE
 - D STORM/DRAINAGE LINE
 - W WATER UTILITY LINE

STORM:

CB1
N. 12" STEEL IE=34.0'
S. 12" CONCRETE IE=34.8'
E. 12" CONCRETE IE=33.8'

CB2 RIM ELEV=36.1'
N. 12" STEEL IE=34.5'
S. 4" PVC IE=34.5'
W. 12" STEEL IE=34.2'

CB3 RIM ELEV=39.6'
N. 12" CONCRETE IE=37.9'
S. 12" CONCRETE IE=38.3'
E. 4" PVC IE=38.0'

CB4 RIM ELEV=44.0'
N. 12" CONCRETE IE=42.0'
S. 12" CONCRETE IE=42.2'
W. 4" PVC IE=42.6'
W. 12" STEEL IE=42.6'

CB5 RIM ELEV=46.9'
N. 12" CONCRETE IE=45.0'
E. 6" PVC IE=44.9'
S. 12" STEEL IE=44.9'

CB6 RIM ELEV=52.6'
N. 12" STEEL IE=50.5'
S. 12" STEEL IE=50.3'

SEWER:

SWMH1 RIM ELEV=22.9'
S. 12" STEEL IE=7.6'

SWMH2 RIM ELEV=53.9'
N. 12" STEEL IE=44.1'
S. 12" STEEL IE=44.6'
W. 12" STEEL IE=44.2'

SWMH3 RIM ELEV=54.5'
CONTAINS WOOD BOX

LEGAL DESCRIPTION:
LOT A OF CITY OF MERCER ISLAND SHORT PLAT NO. MI 79-06-17, RECORDED UNDER RECORDING NO. 7909100629, RECORDS OF KING COUNTY, WASHINGTON.
TOGETHER WITH SHORELANDS OF THE SECOND CLASS.
SITUATE IN THE COUNTY OF KING, STATE OF WASHINGTON.

NOTES:
FIELD MEASUREMENTS FOR THIS SURVEY PERFORMED WITH A 2" TOPCON TOTAL STATION USING TRAVERSE METHODS AND TOPCON GR5 GPS EQUIPMENT THAT MEET OR EXCEED ACCURACY REQUIREMENTS CONTAINED IN WAC 332.130.090.
THIS SURVEY WAS CONDUCTED WITHOUT THE BENEFIT OF A CURRENT TITLE REPORT AND THEREFORE DOES NOT PURPORT TO SHOW ALL EASEMENTS OR RESTRICTIONS OF RECORD, IF ANY.
THE BOUNDARY CORNERS AND LINES DEPICTED ON THIS MAP ARE PER RECORD TITLE INFORMATION AND REPRESENT DEED LINES ONLY. THEY DO NOT PURPORT TO SHOW OWNERSHIP LINES THAT MAY OTHERWISE BE DETERMINED BY A COURT OF LAW.
THIS TOPOGRAPHIC SURVEY IS INTENDED FOR GENERAL DESIGN PURPOSES. ADDITIONAL SURVEYING MAY BE REQUIRED TO MEET SPECIFIC CITY/COUNTY AND/OR ENGINEERING REQUIREMENTS.
THIS SURVEY WAS PREPARED FOR THE EXCLUSIVE USE OF THE CLIENT NAMED HEREIN, TO BE USED ONLY FOR THE PURPOSE FOR WHICH IT WAS ORIGINALLY INTENDED. ITS USE DOES NOT EXTEND TO, AND IS NOT AUTHORIZED FOR USE BY ANY UNNAMED PERSON OR PERSONS. THIS SURVEY IS NOT TRANSFERABLE TO ANY OTHER PARTY WITHOUT THE EXPRESS PERMISSION AND RECERTIFICATION BY THIS SURVEYOR TO ANOTHER PARTY.
ALL FOUND SURVEY EVIDENCE WAS VISITED ON THE DATE OF THIS SURVEY UNLESS OTHERWISE NOTED.
COPYRIGHT BY CRONES SURVEYING, INC.

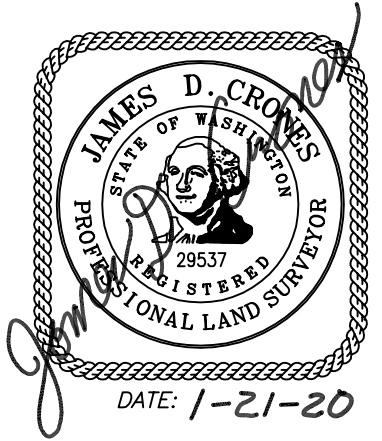
SITE ADDRESS:
3315 98TH AVE SE
MERCER ISLAND, WA 98040

SURVEYOR'S CERTIFICATE
THIS MAP CORRECTLY REPRESENTS A SURVEY MADE BY ME OR UNDER MY DIRECTION, AT THE REQUEST OF REGAN MCCLELLAN, IN DECEMBER, 2019.

JAMES D. CRONES
L.S. 29537

James D. Cronos

DATE: 1-21-20



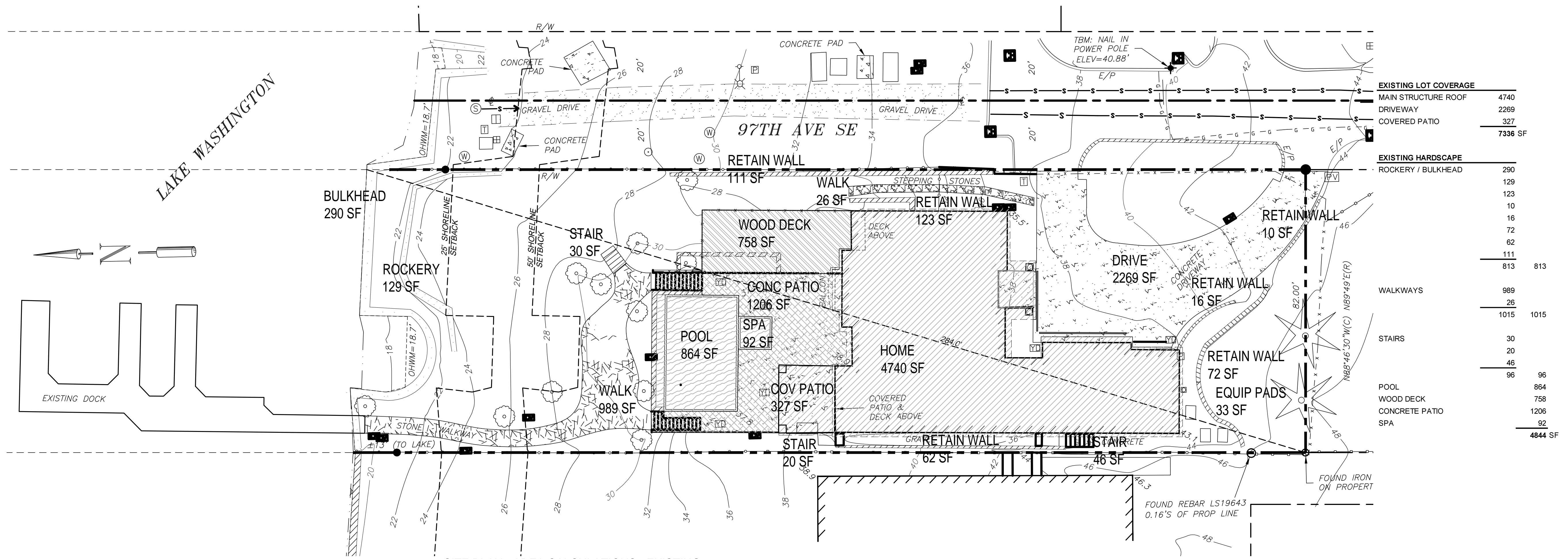
CRONES SURVEYING, INC.
23806 180TH AVE. S.E. KENT, WA 98042 (425) 432-5930

REGAN MCCLELLAN
LOT SURVEY
TOPOGRAPHIC SURVEY
KING COUNTY

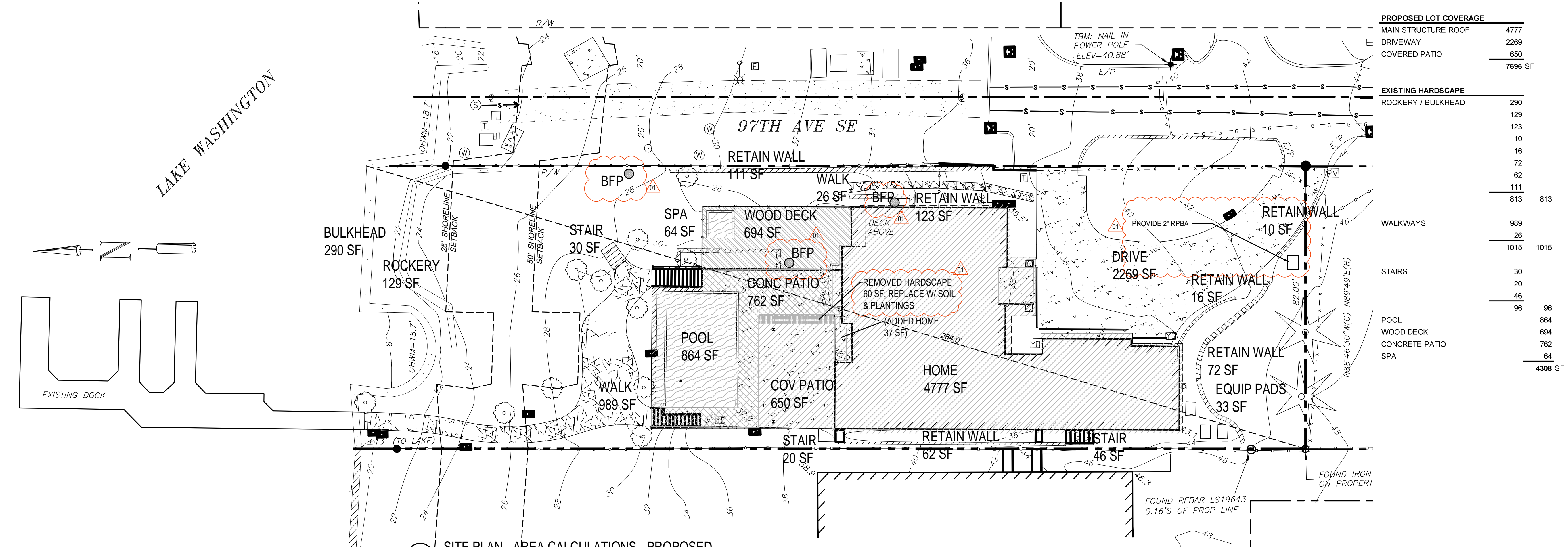
Revisions: 1/22/2020, ADDED OHM LINE

Drawing Date: JANUARY 15, 2020
Scale: 1" = 20'
Surveyed: DB/BE
Drawn: JB
Checked: JUC
Filename: MCCLELLAN-TOPO.DWG

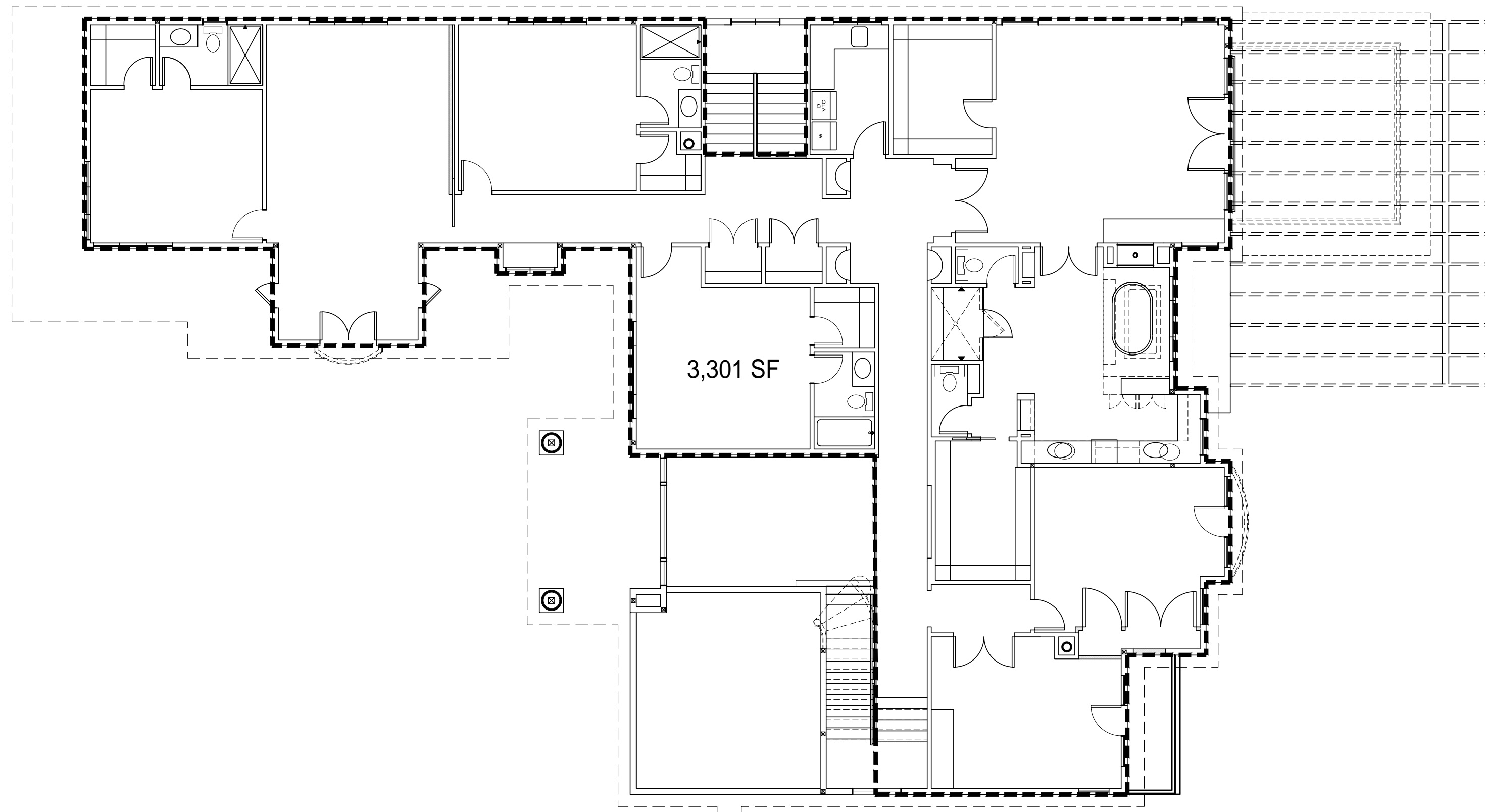
1 of 1 SHEET



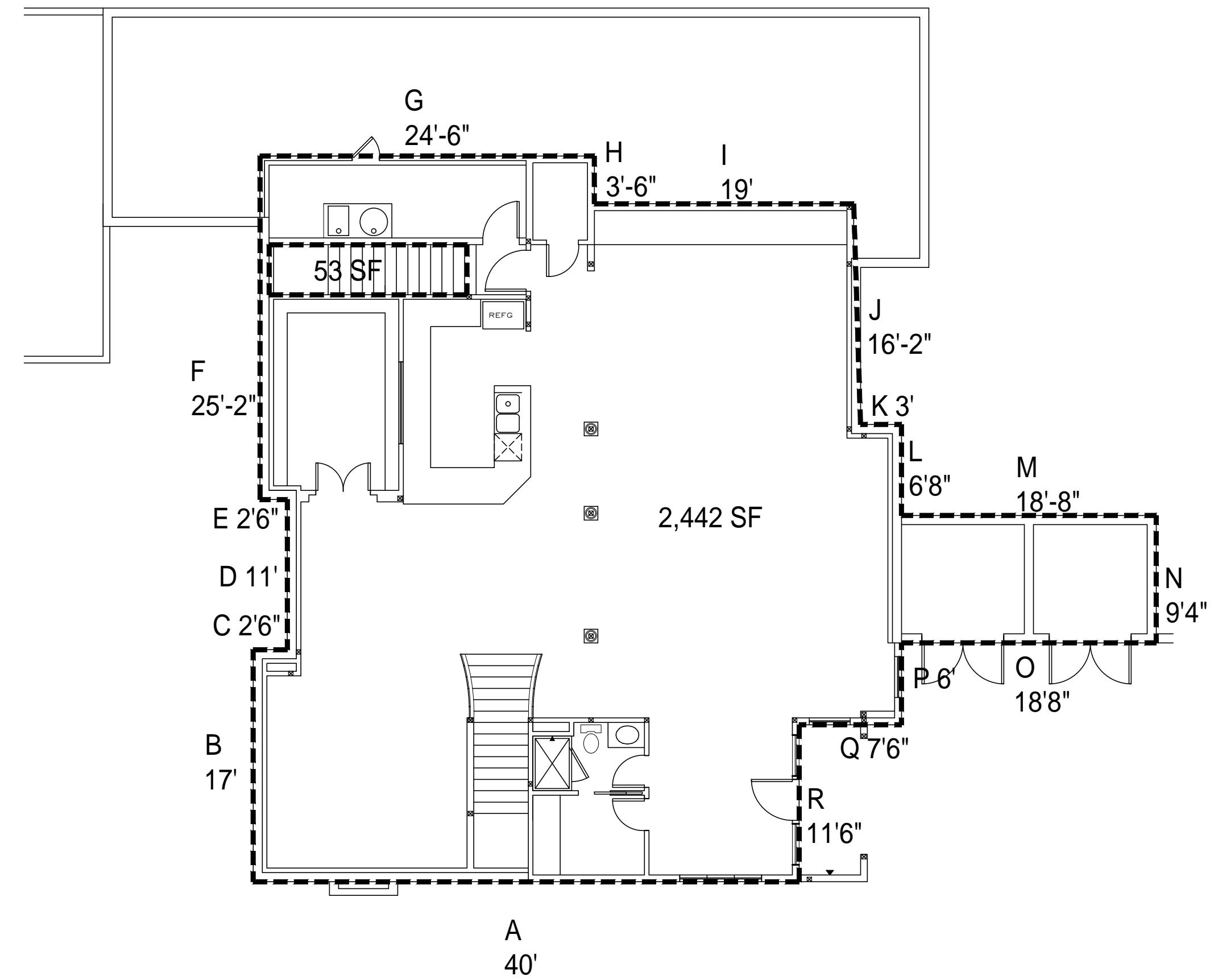
1 SITE PLAN - AREA CALCULATIONS - EXISTING
1/16"=1'-0"



2 SITE PLAN - AREA CALCULATIONS - PROPOSED
1/16"=1'-0"



1 SECOND FLOOR PLAN - PROPOSED W/ DEMO
1/8"=1'-0"

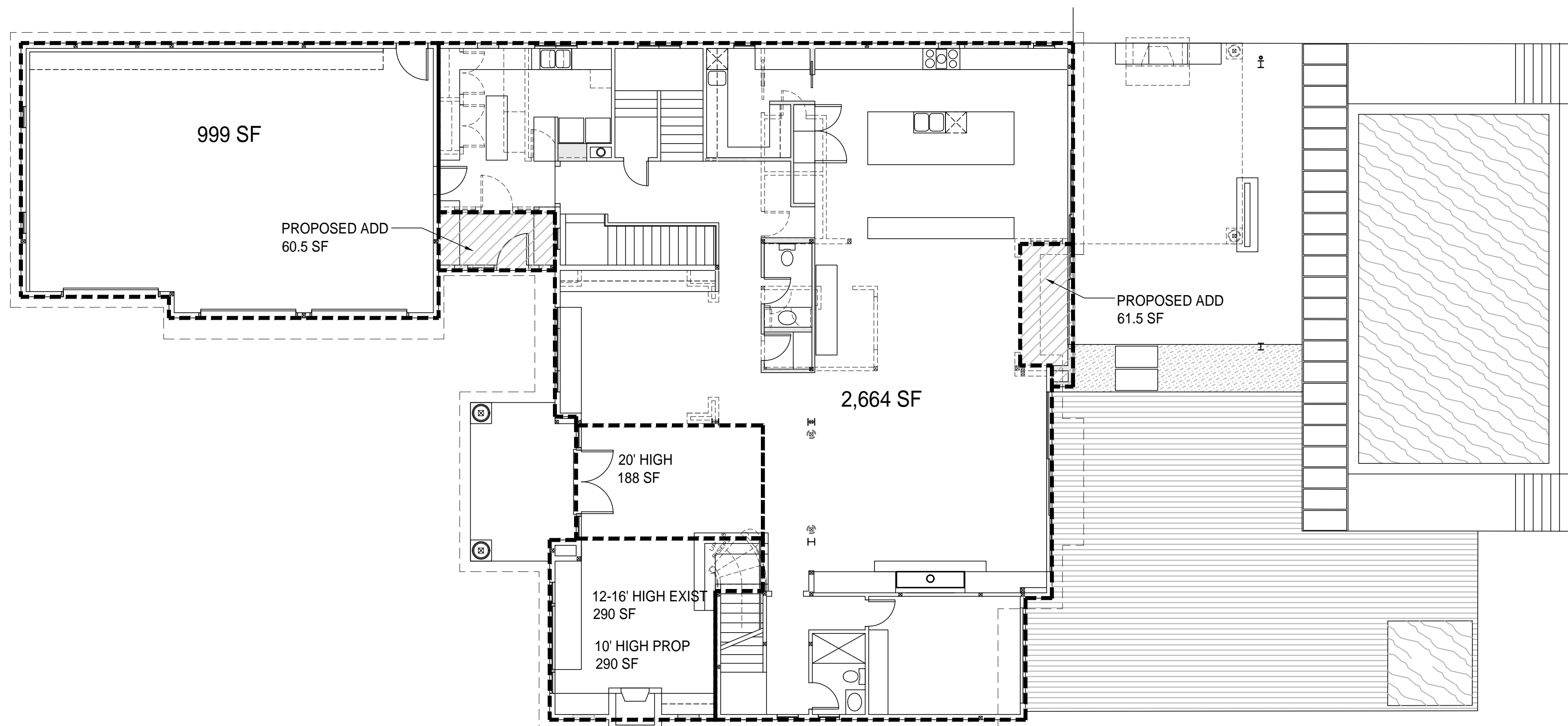


2 BASEMENT PLAN - EXISTING
1/8"=1'-0"

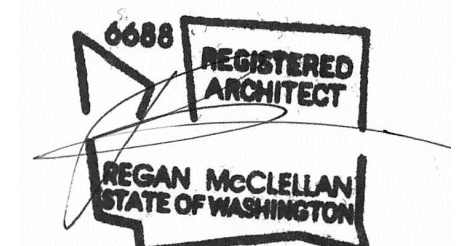
BASEMENT - GROSS SQUARE FEET CALC

WALL	LENGTH	COVERAGE	TOTAL
A	40	47%	18.8
B	17	100%	17
C	2.5	100%	2.5
D	11	100%	11
E	2.5	100%	2.5
F	25.17	100%	25.17
G	24.5	100%	24.5
H	3.5	100%	3.5
I	19	100%	19
J	16.17	100%	16.17
K	3	100%	3
L	6.67	100%	6.67
M	18.67	100%	18.67
N	9.33	100%	9.33
O	18.67	0%	0
P	6	0%	0
Q	7.5	0%	0
R	11.5	0%	0
	242.68		177.81

	73%
BASEMENT AREA	2,442 SF
BACK STAIR	53 SF
2,389 GSF TOTAL	
1750 SF EXCLUDED	
639 GSF COUNTED	



3 FIRST FLOOR PLAN - PROPOSED W/ DEMO
1/8"=1'-0"

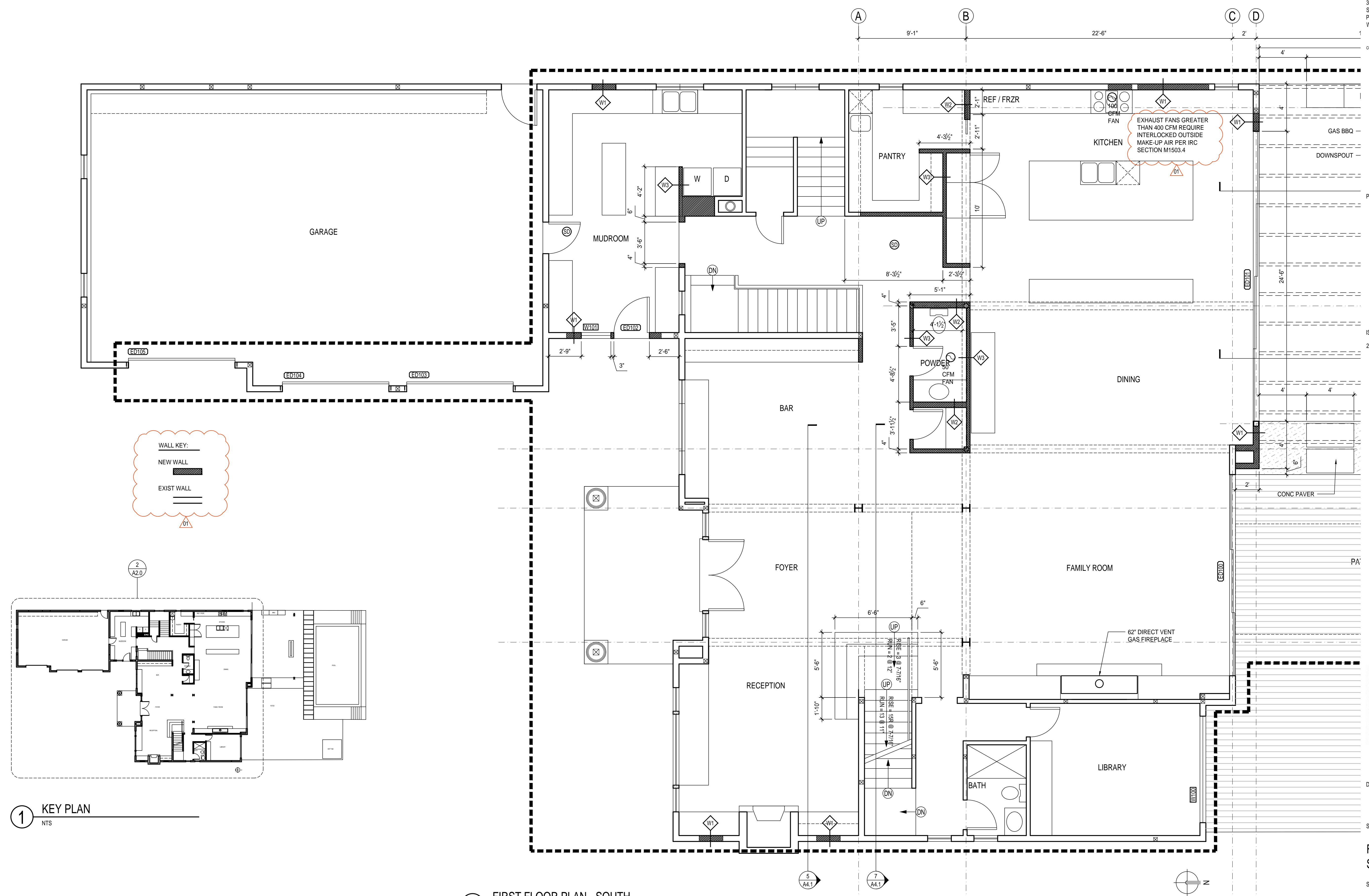


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SHEET TITLE:
FLOOR AREA
CALCULATIONS

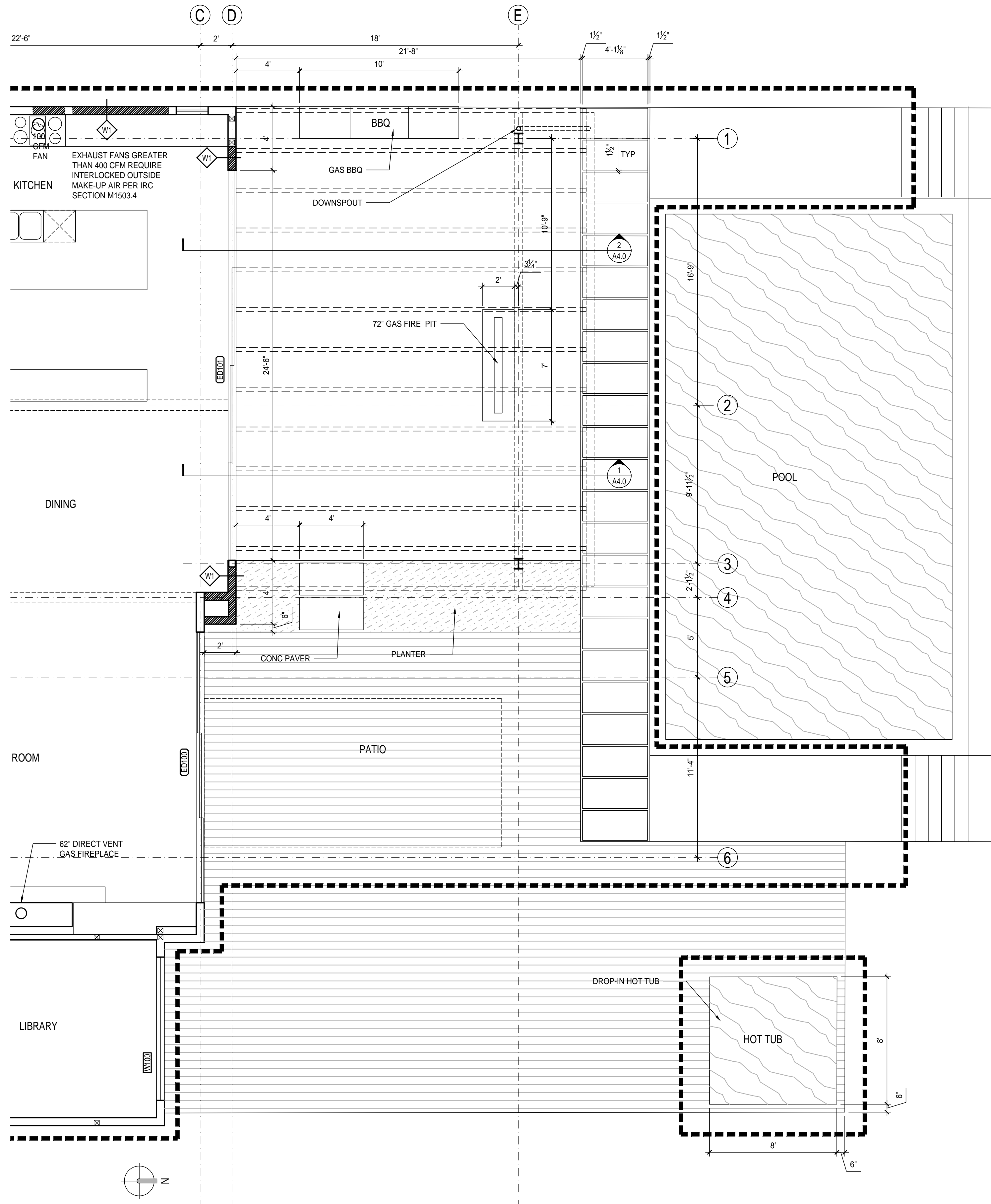
SHEET:

A0.2

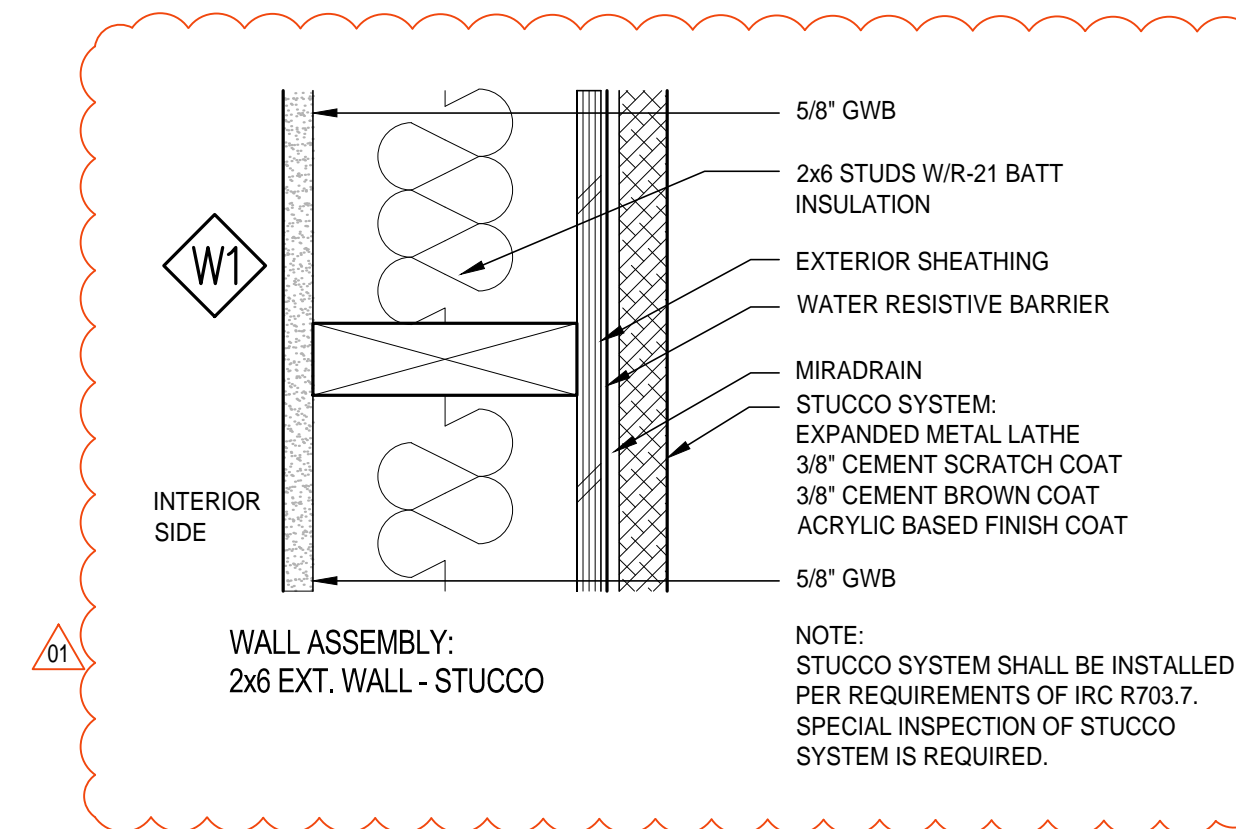


1 KEY PLAN
NTS

2 FIRST FLOOR PLAN - SOUTH
1/4"=1'-0"

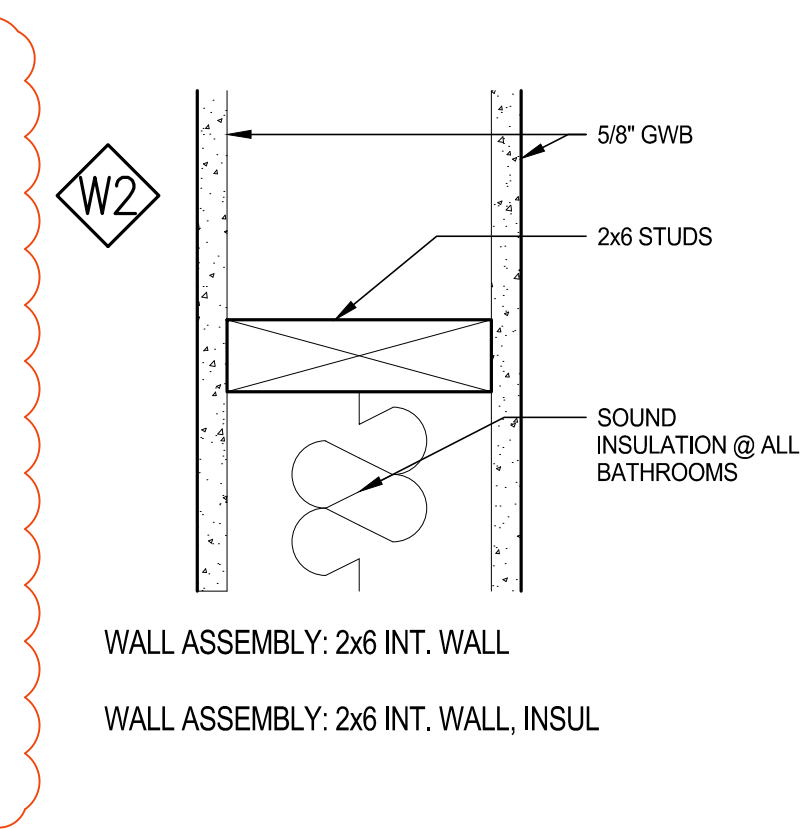


1 FIRST FLOOR PLAN - NORTH
1/4"=1'-0"

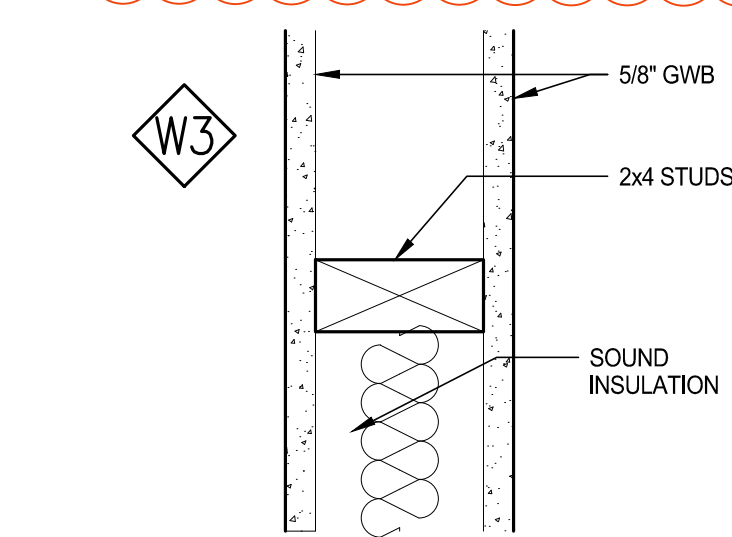


W1 WALL ASSEMBLY: 2x6 EXT. WALL - STUCCO

NOTE:
STUCCO SYSTEM SHALL BE INSTALLED PER REQUIREMENTS OF IRC R703.7. SPECIAL INSPECTION OF STUCCO SYSTEM IS REQUIRED.

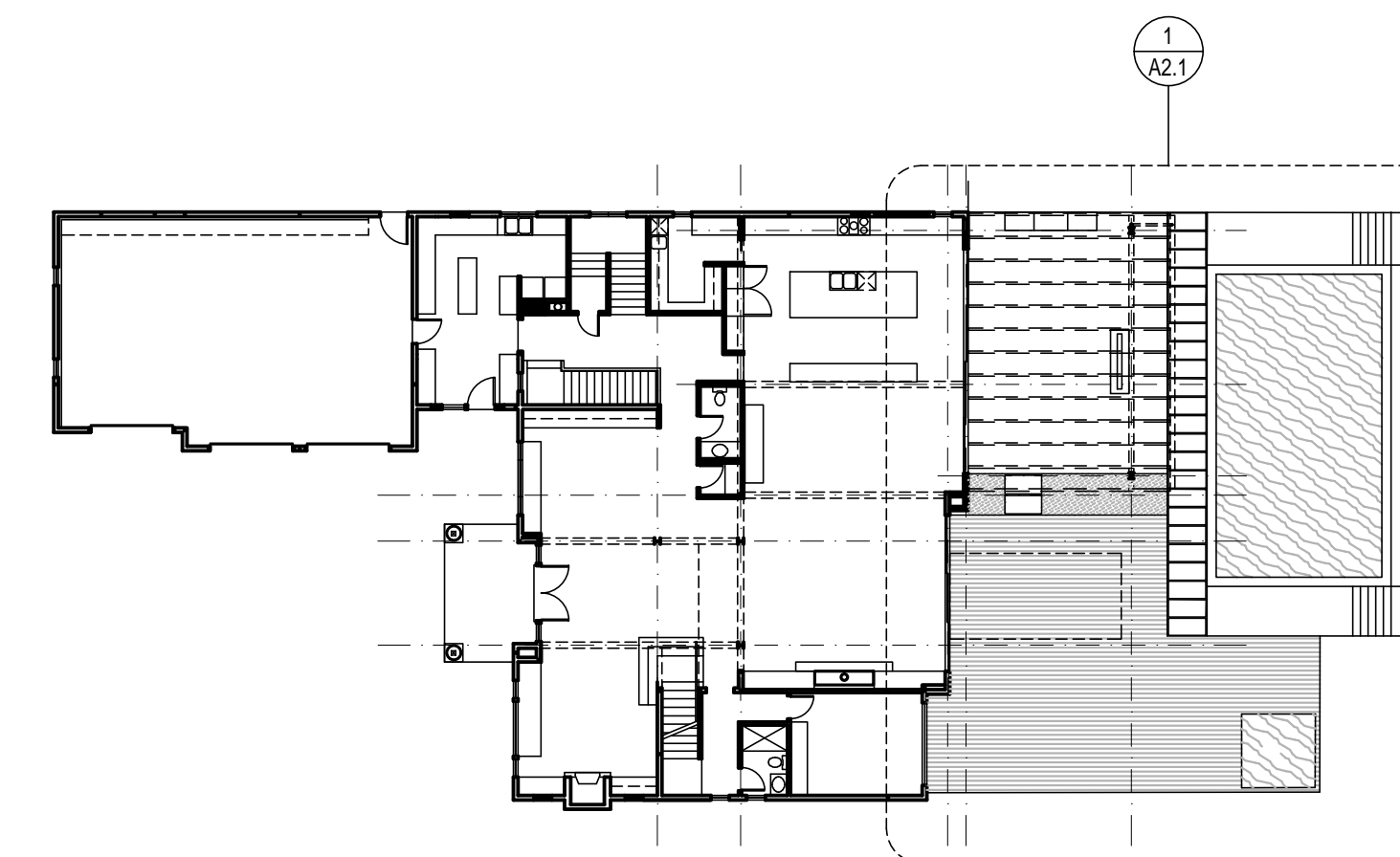


W2 WALL ASSEMBLY: 2x6 INT. WALL, INSUL

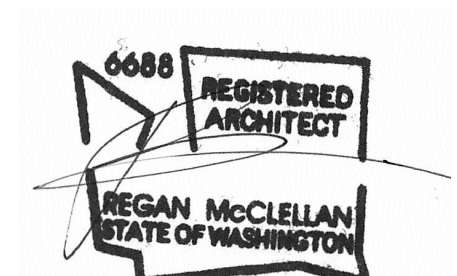


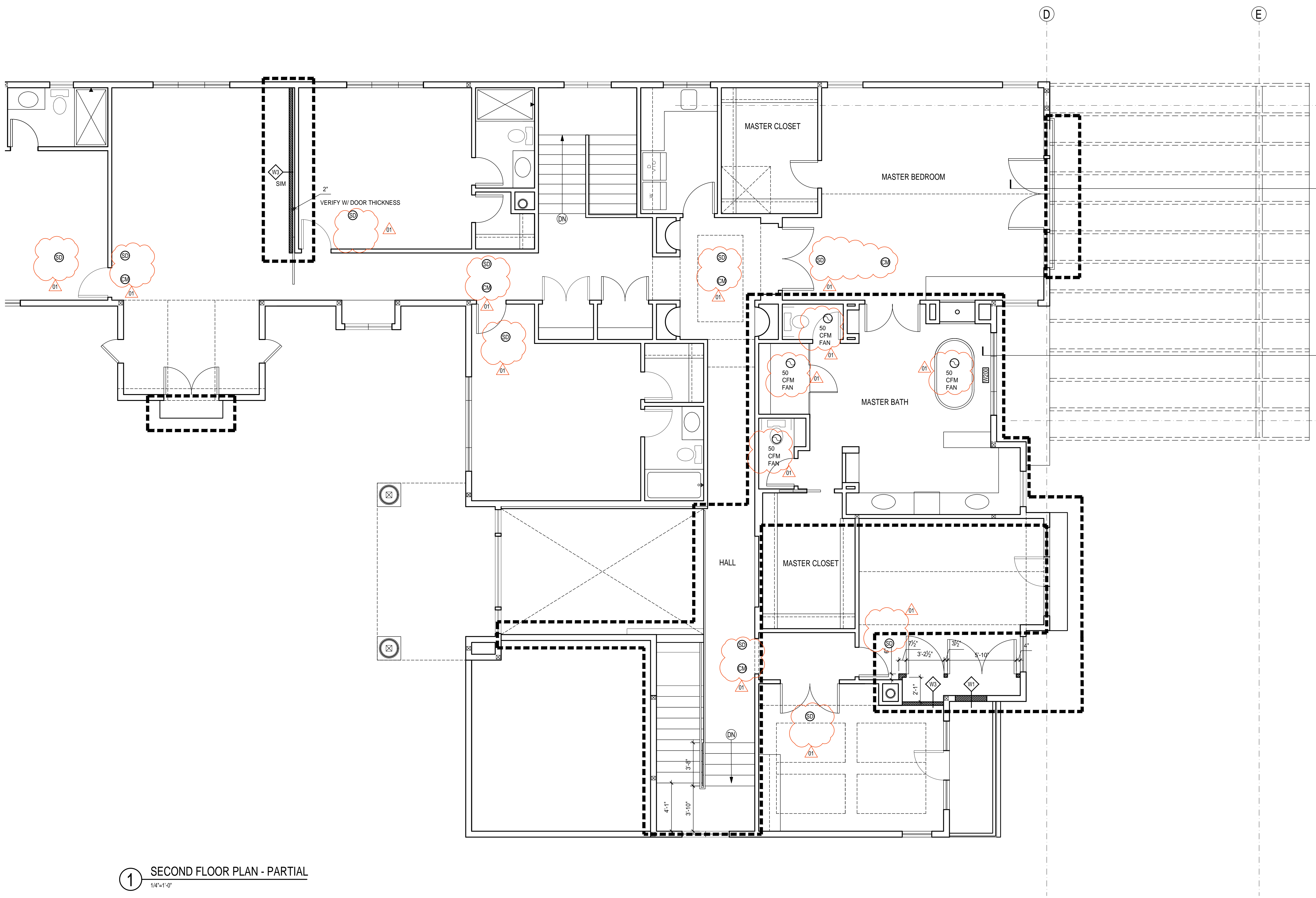
W3 WALL ASSEMBLY: 2x4 INT. WALL
WALL ASSEMBLY: 2x4 INT. WALL, INSUL

2 ASSEMBLIES
3/8"=1'-0"



12 KEY PLAN
NTS

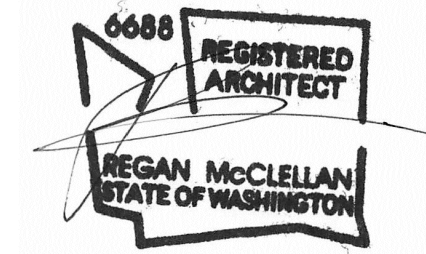




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1 SECOND FLOOR PLAN - PARTIAL
1/4"=1'-0"

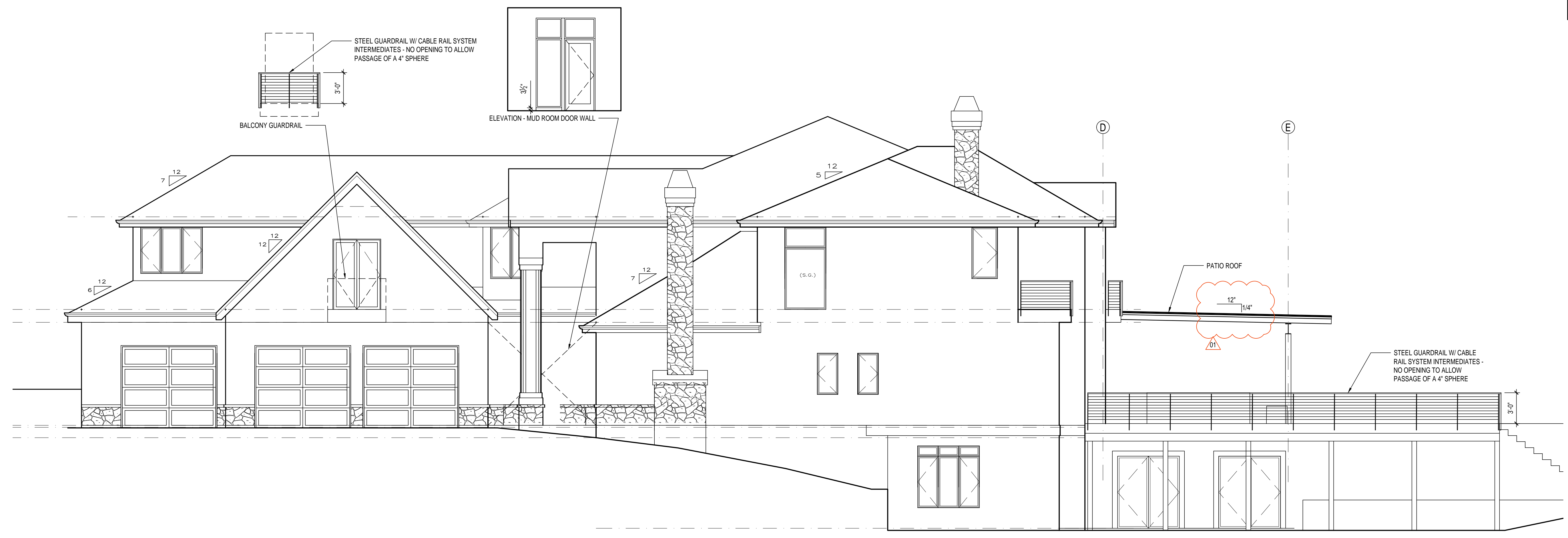


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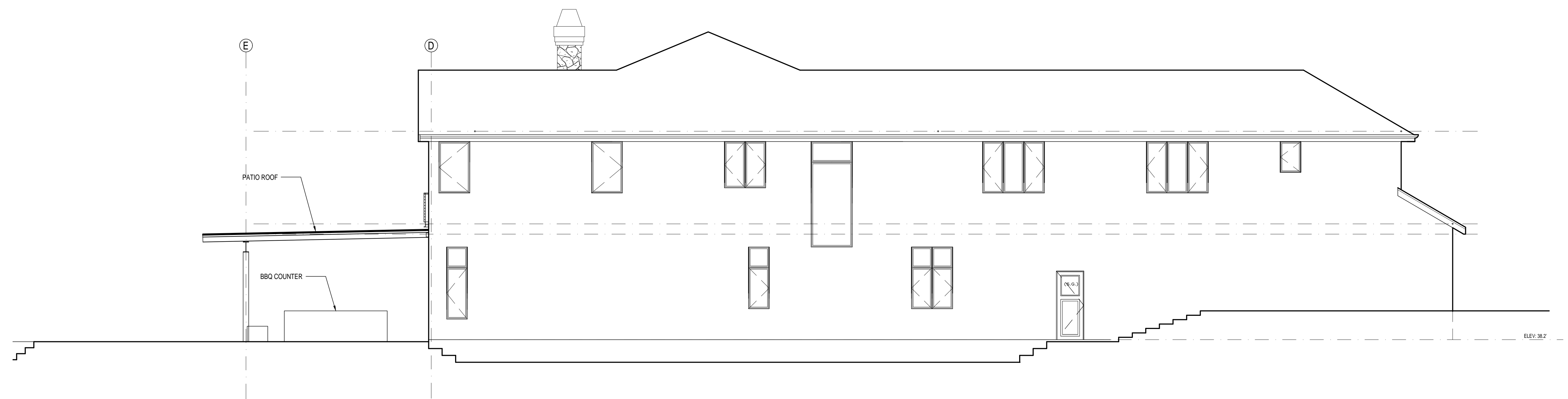
SHEET TITLE:
SECOND FLOOR
PLAN - PARTIAL

SHEET:

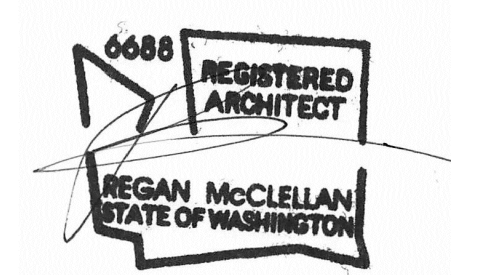
A2.2



1 EAST ELEVATION
3/16" = 1'-0"



2 WEST ELEVATION
3/16" = 1'-0"

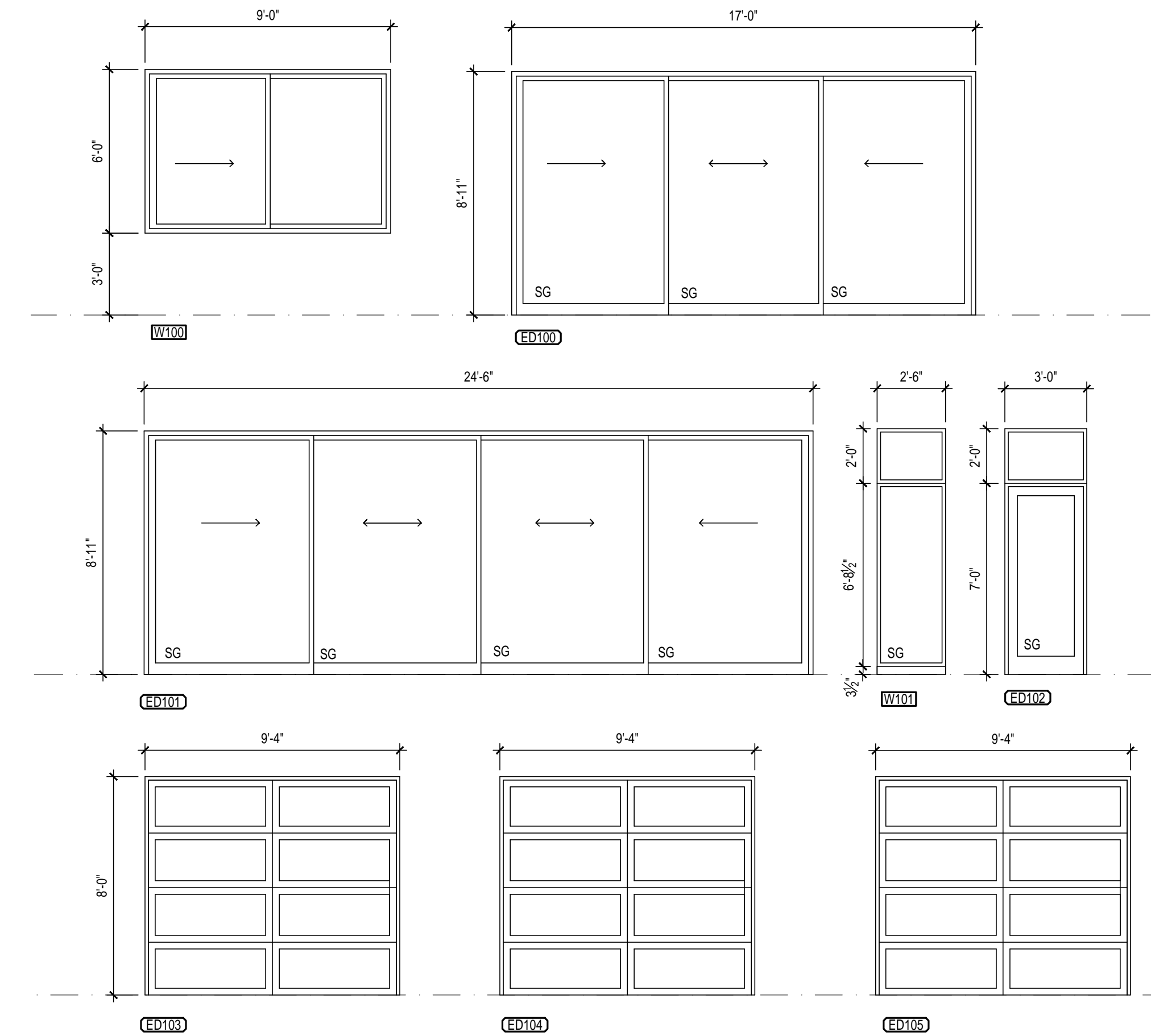




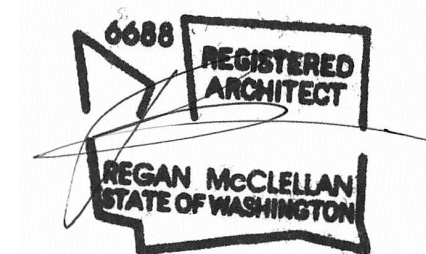
1 SOUTH ELEVATION
3/16" = 1'-0"



2 NORTH ELEVATION
3/16" = 1'-0"



3 OPENING SCHEDULE
1/4" = 1'-0"

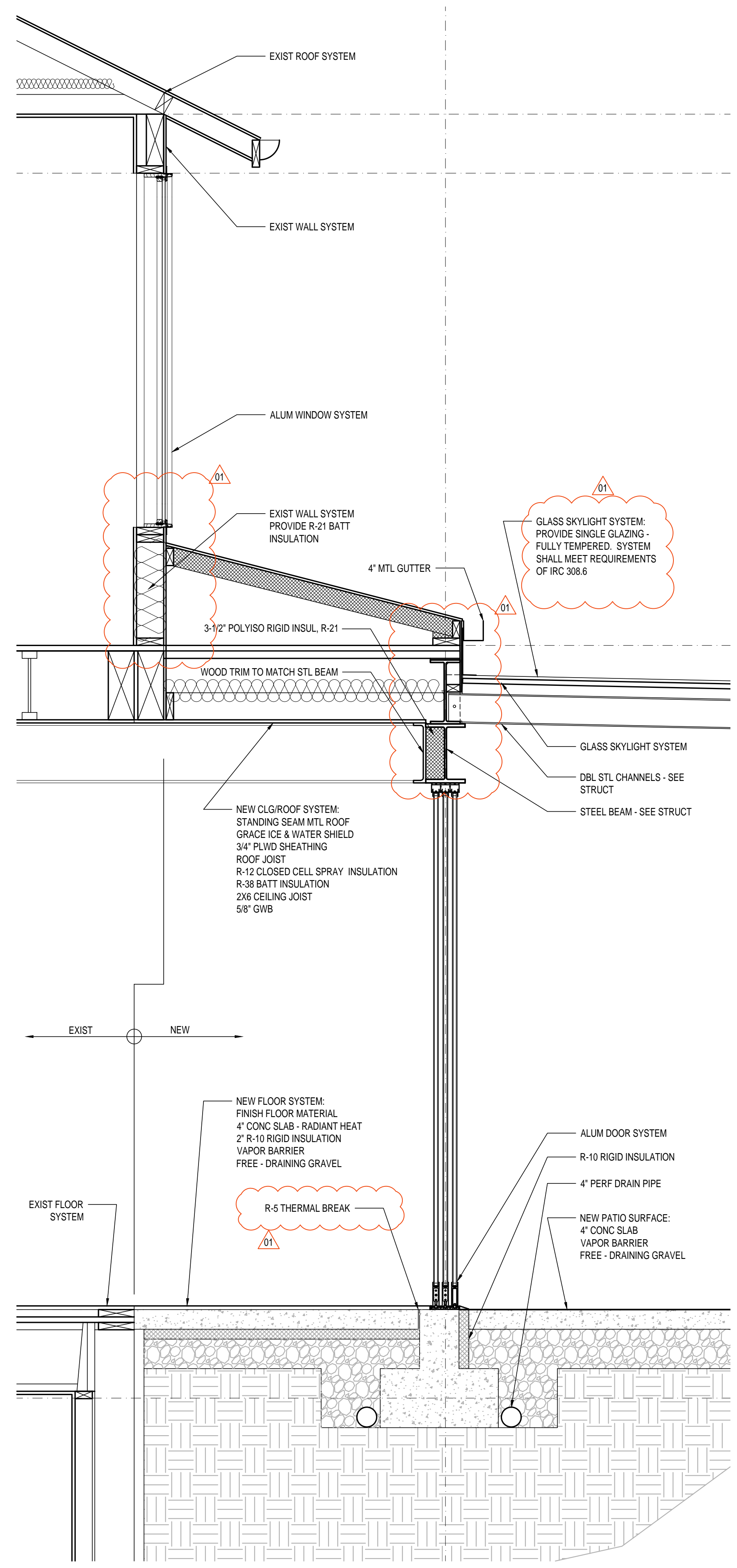


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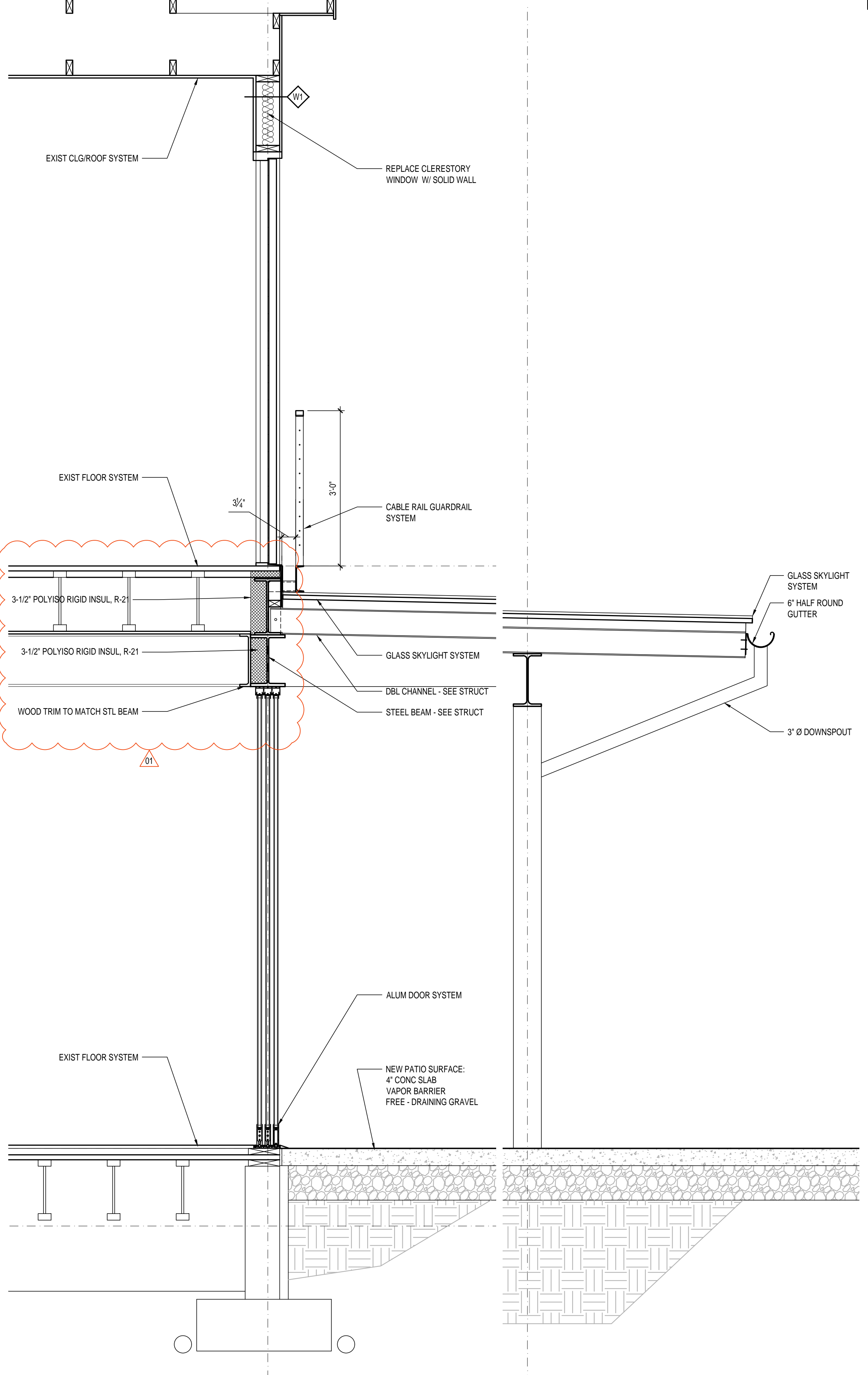
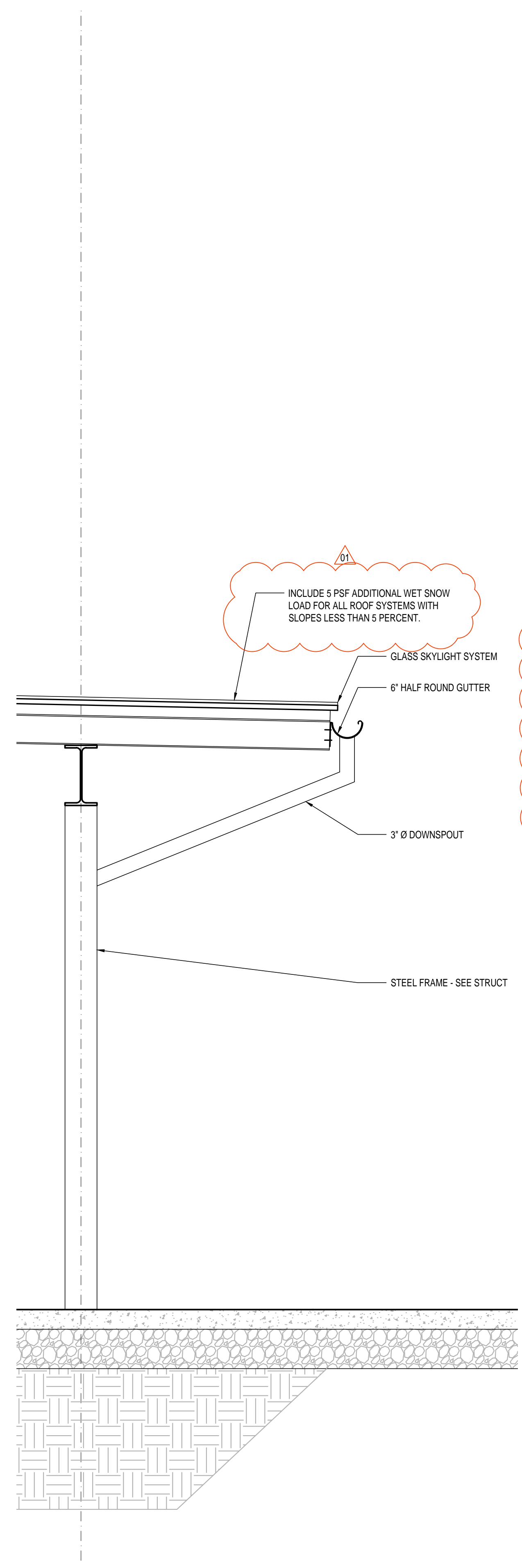
SHEET TITLE:
BUILDING ELEVATIONS
OPENING SCHEDULE

SHEET:

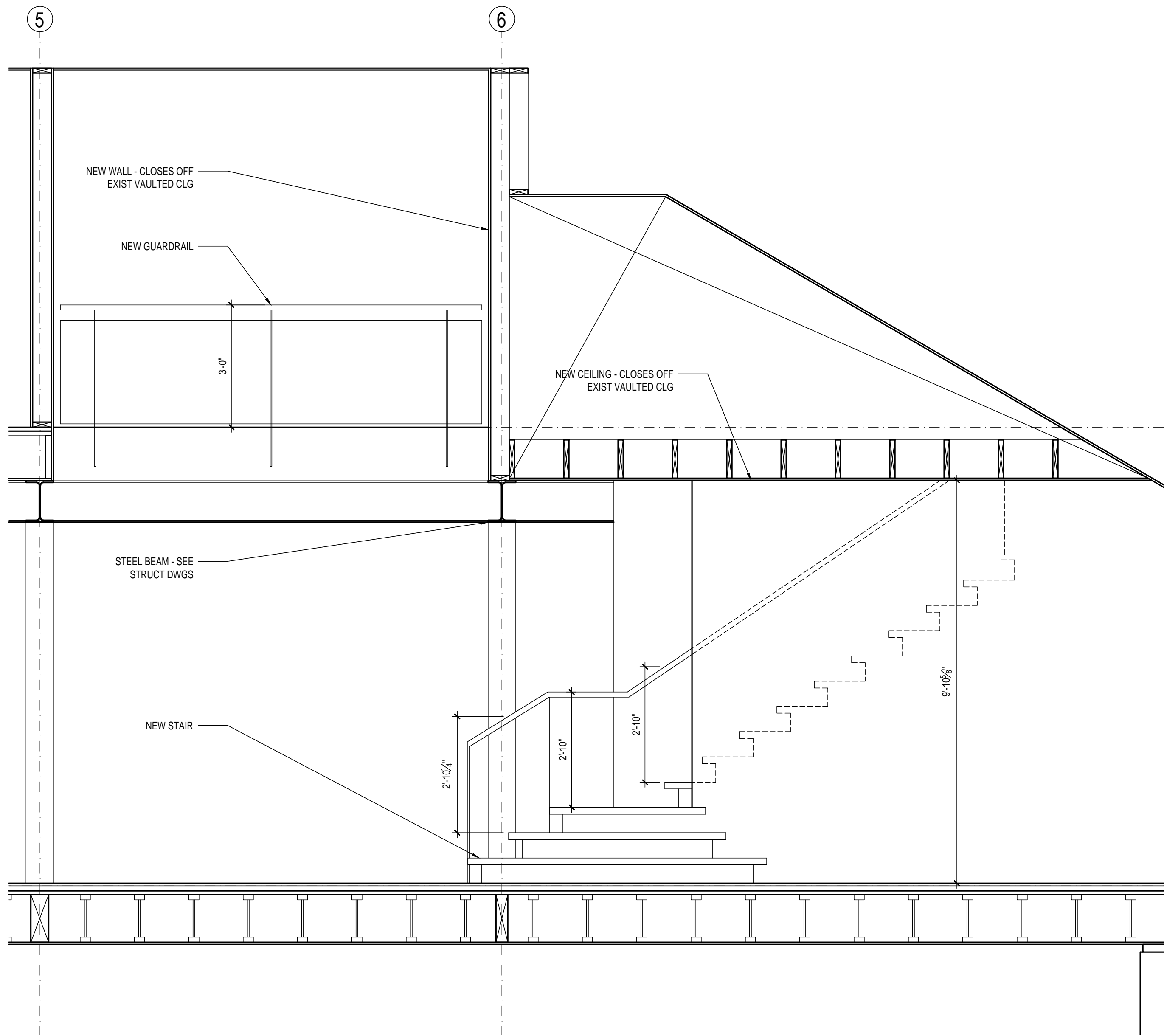
A3.1



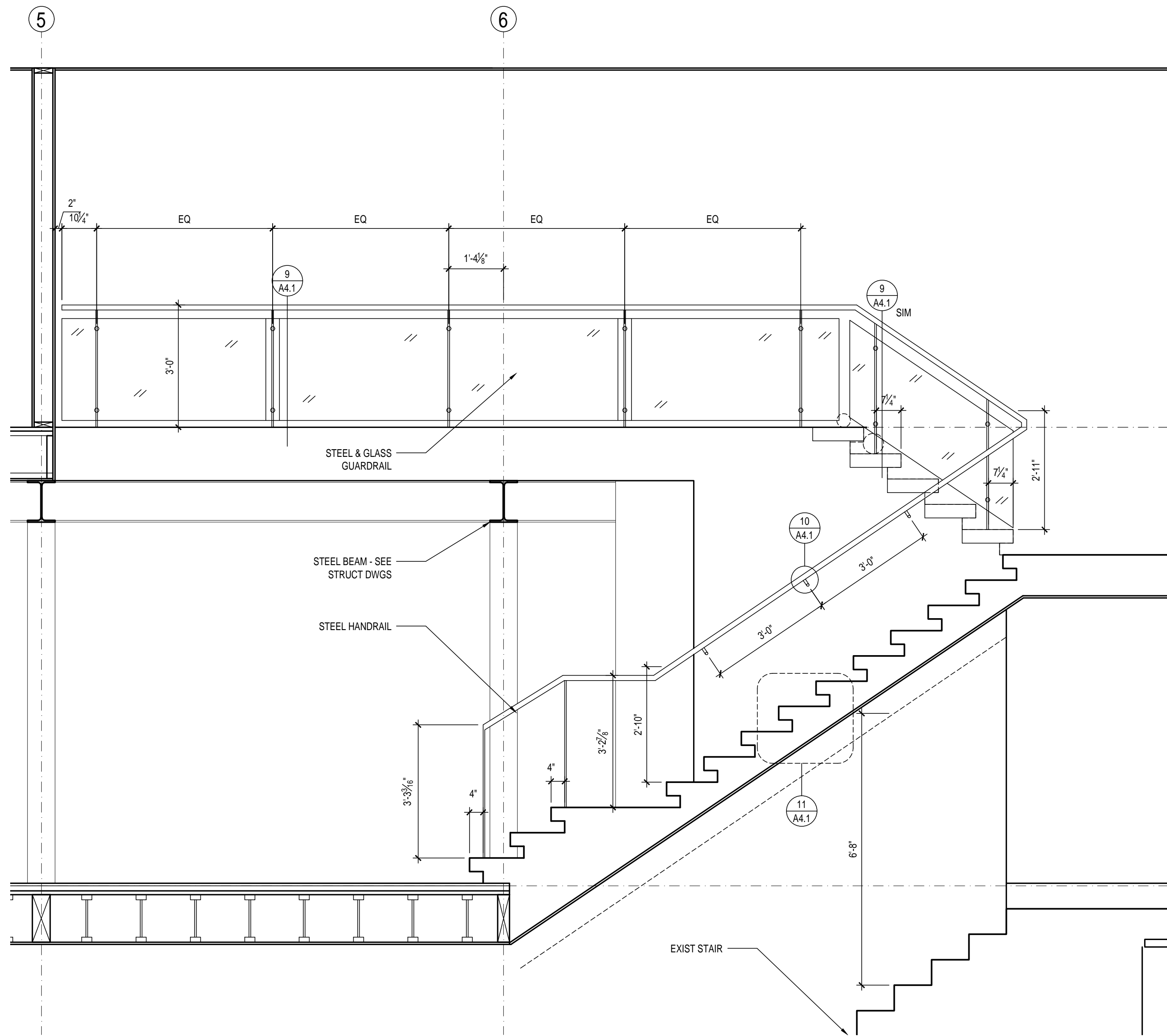
1 WALL SECTION
3/4" = 1'-0"



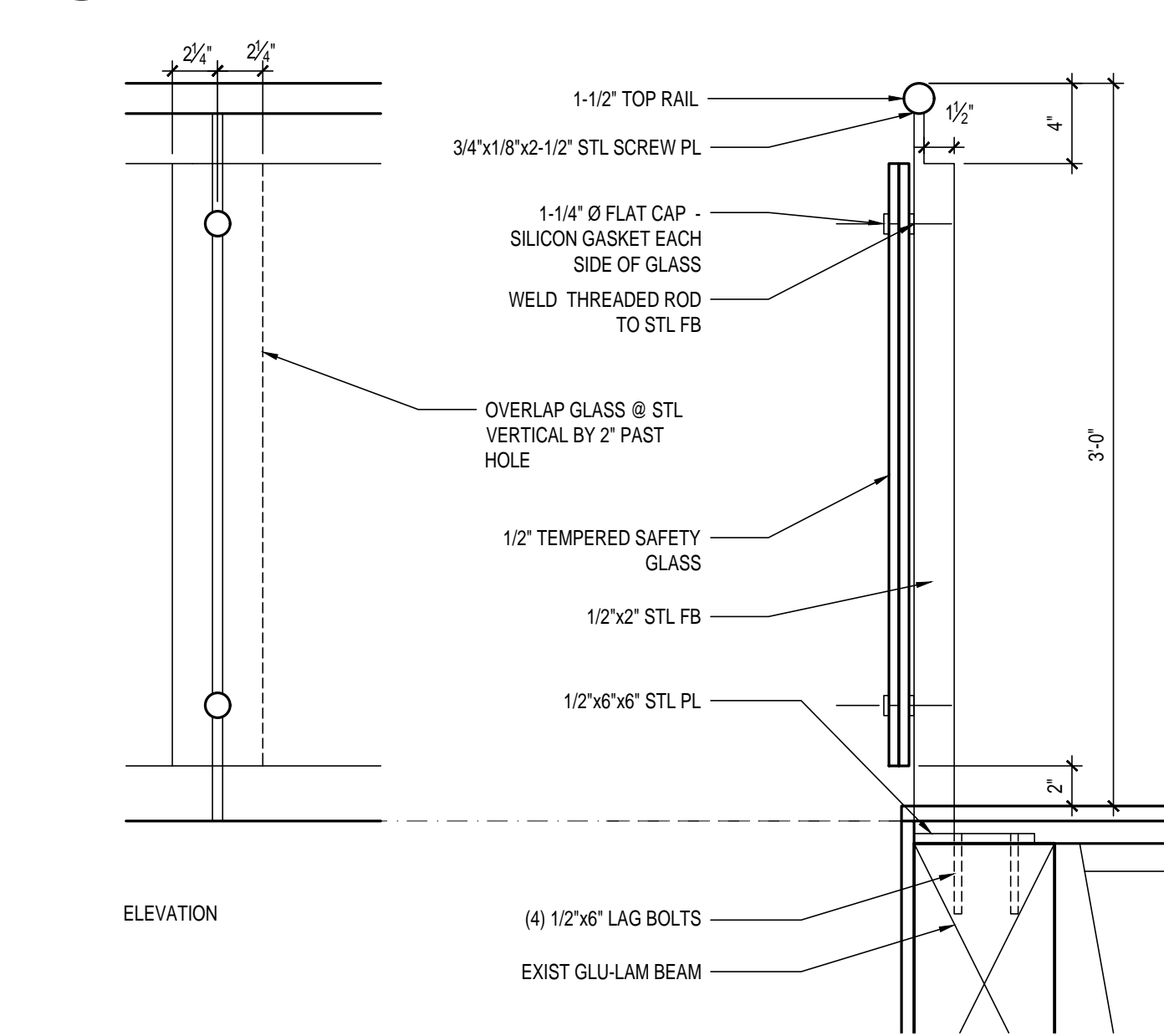
2 WALL SECTION
3/4" = 1'-0"



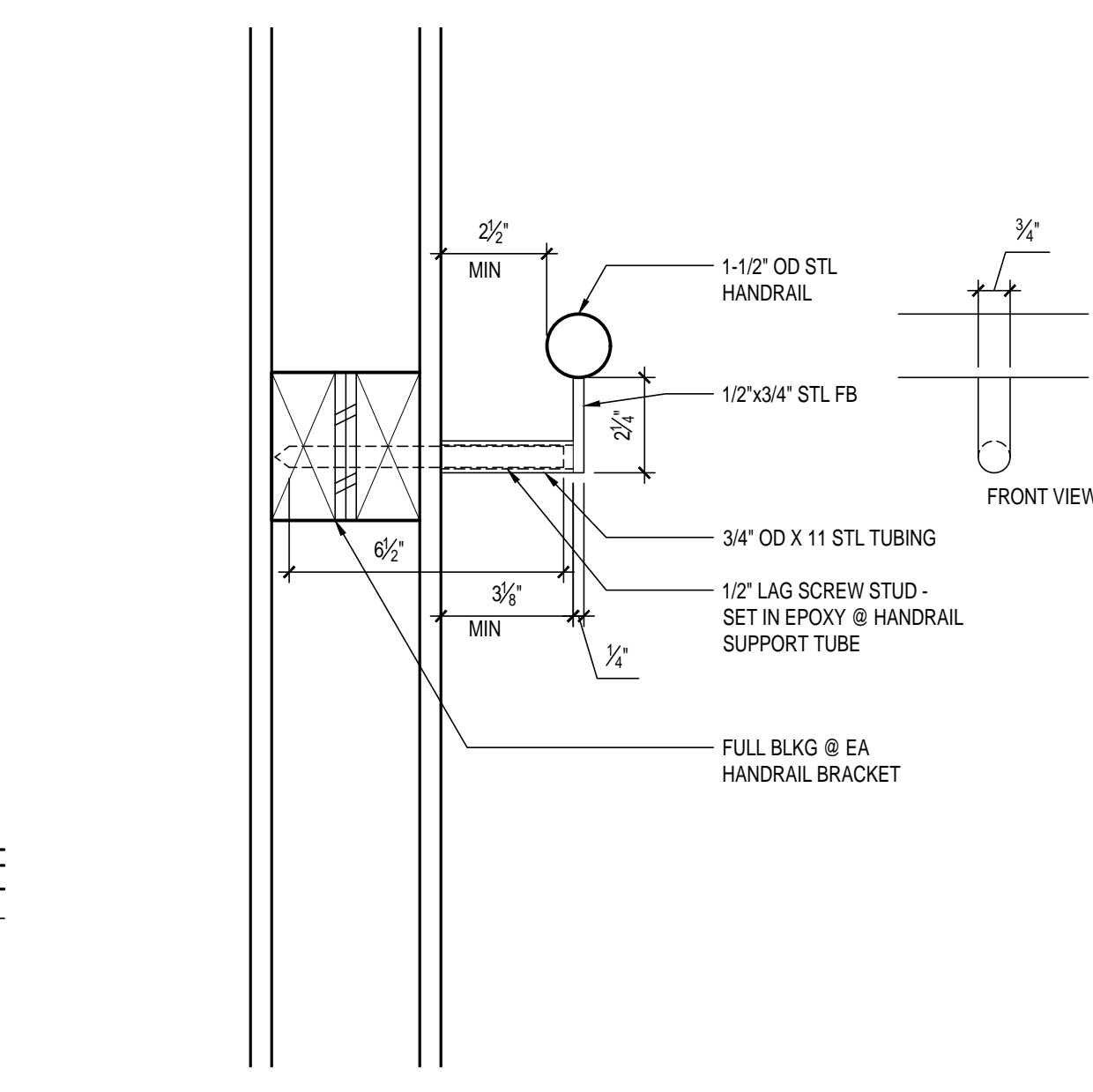
5 BLDG SECTION
1/2" = 1'-0"



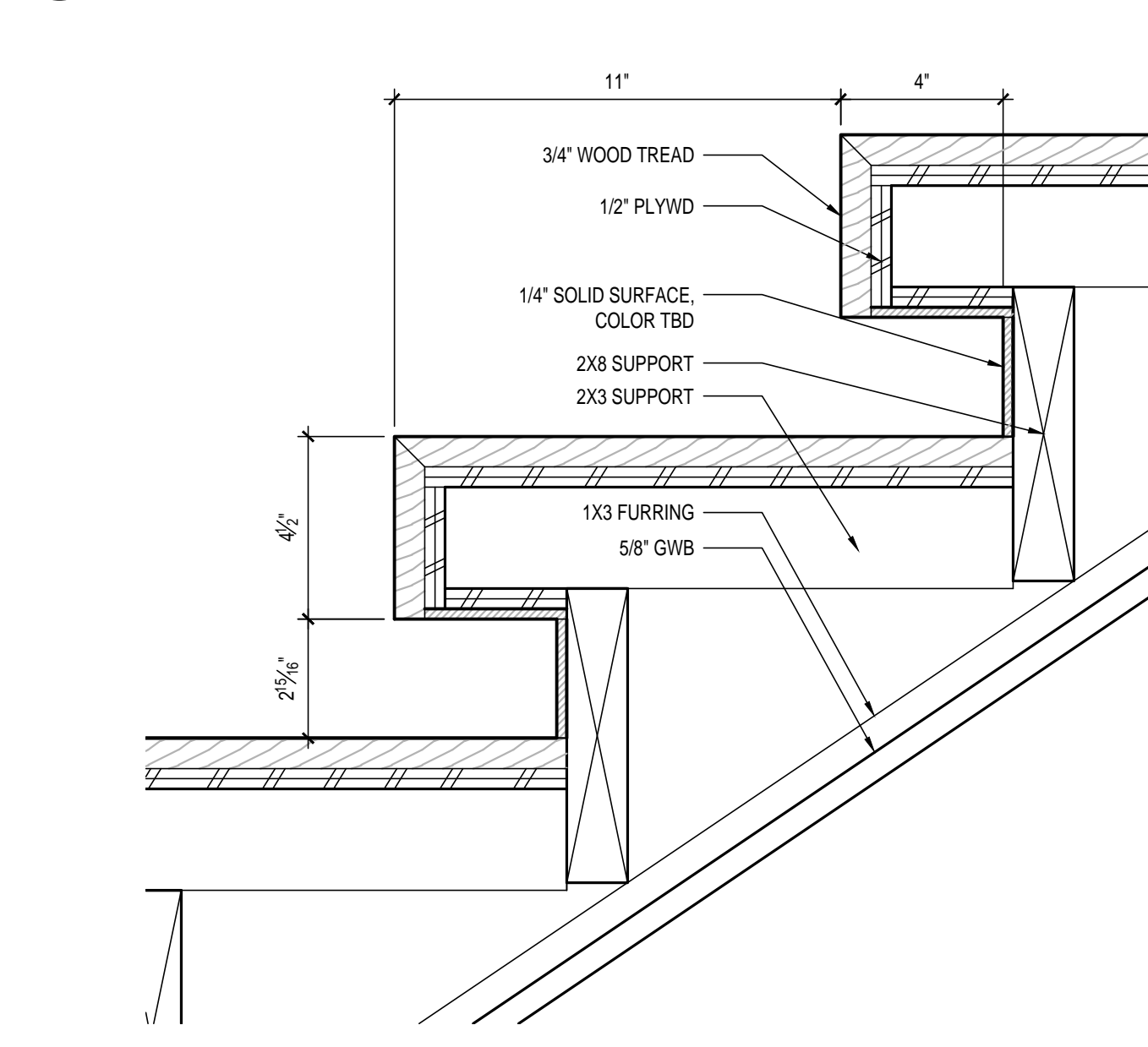
7 STAIR SECTION
1/2" = 1'-0"



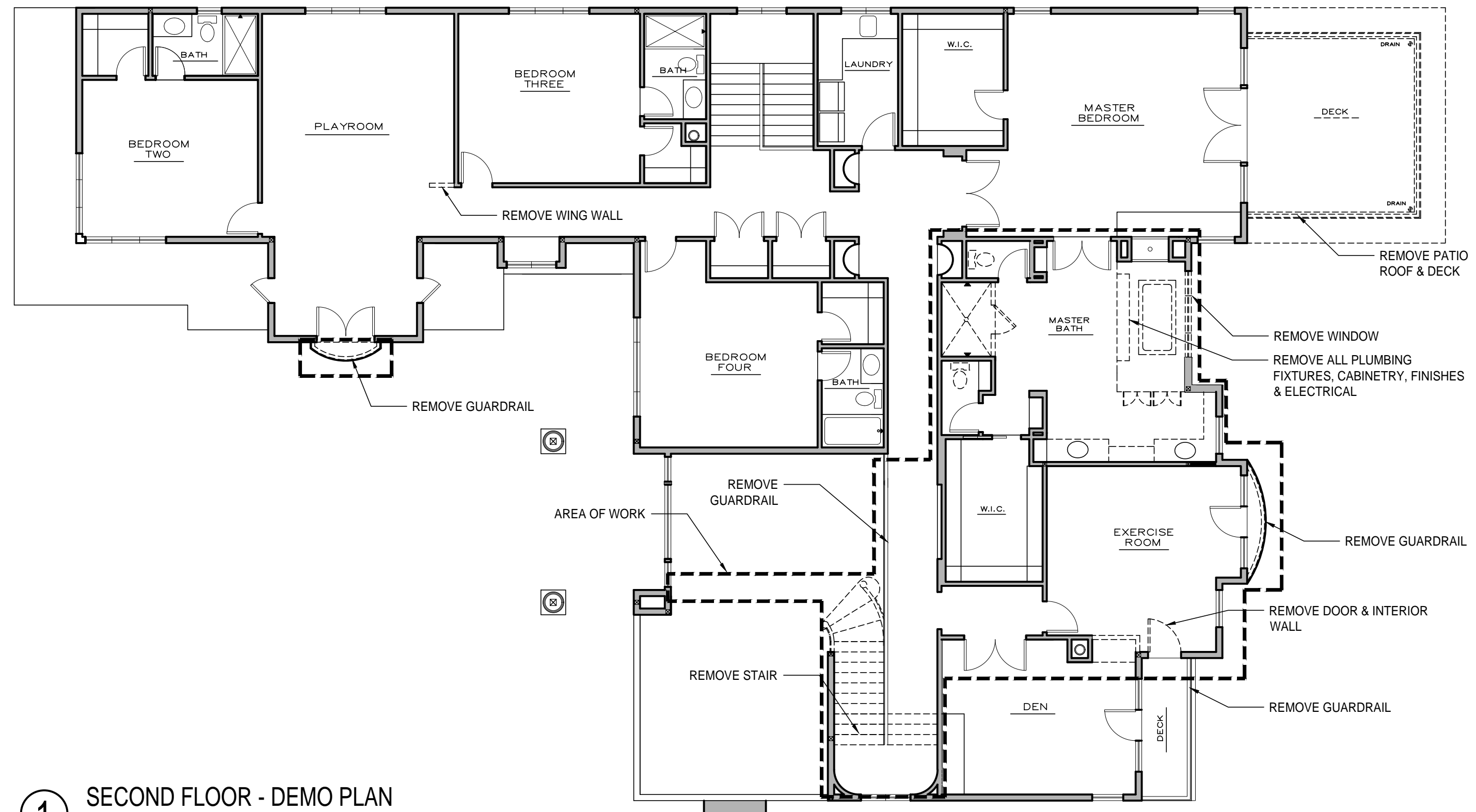
9 GLASS GUARDRAIL
1-1/2" = 1'-0"



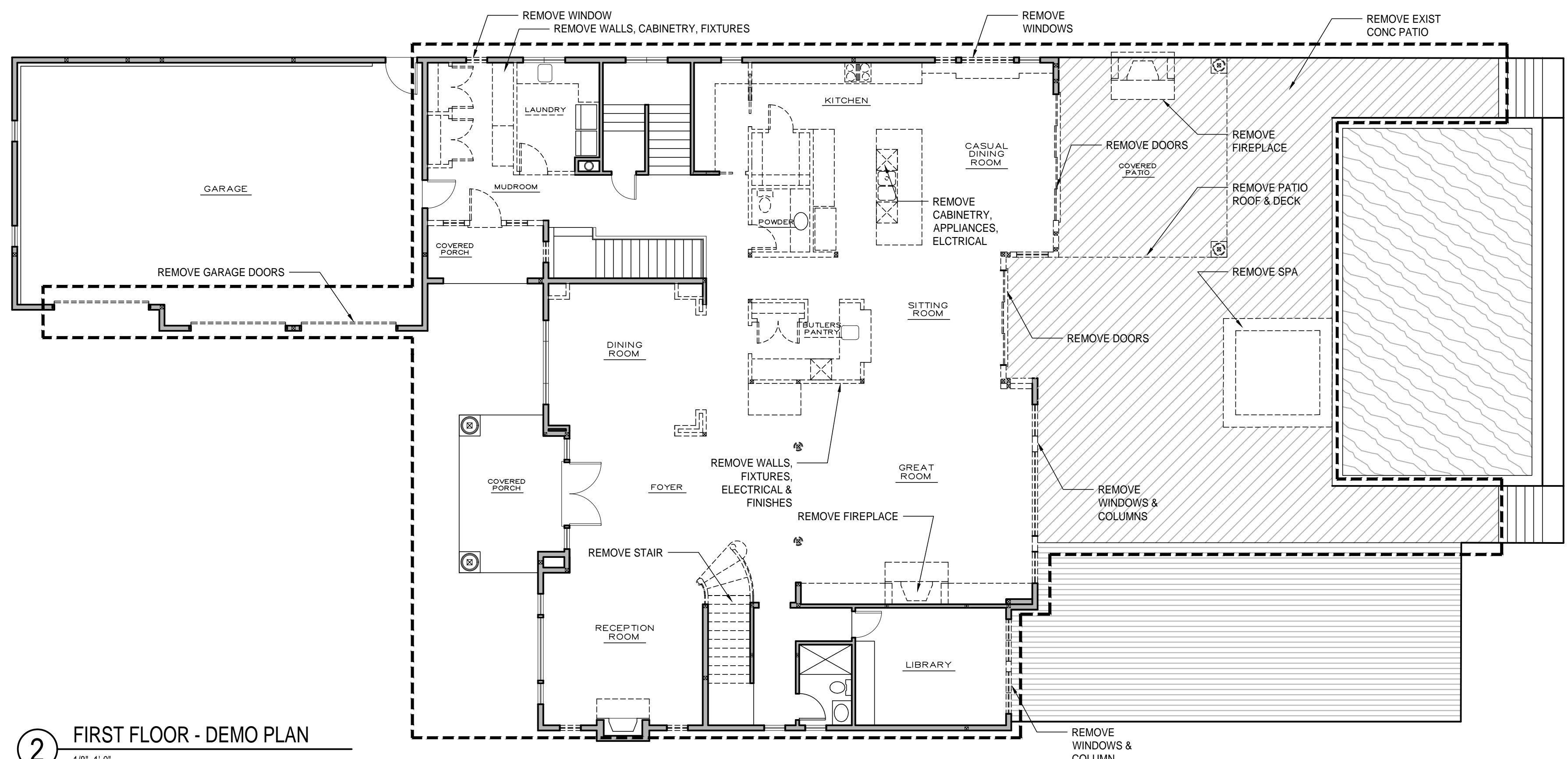
10 HANDRAIL BRACKET
3" = 1'-0"



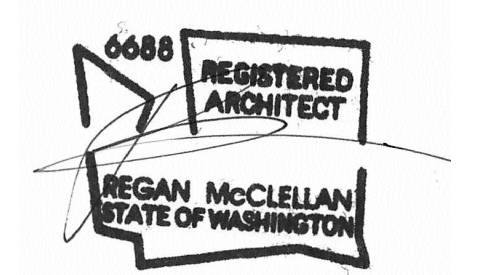
11 STAIR SECTION
3" = 1'-0"



1 SECOND FLOOR - DEMO PLAN
1/8"=1'-0"



2 FIRST FLOOR - DEMO PLAN
1/8"=1'-0"



DATE:
MARCH 13, 2020

SHEET TITLE:
DEMOLITION PLANS

SHEET:

D2.0

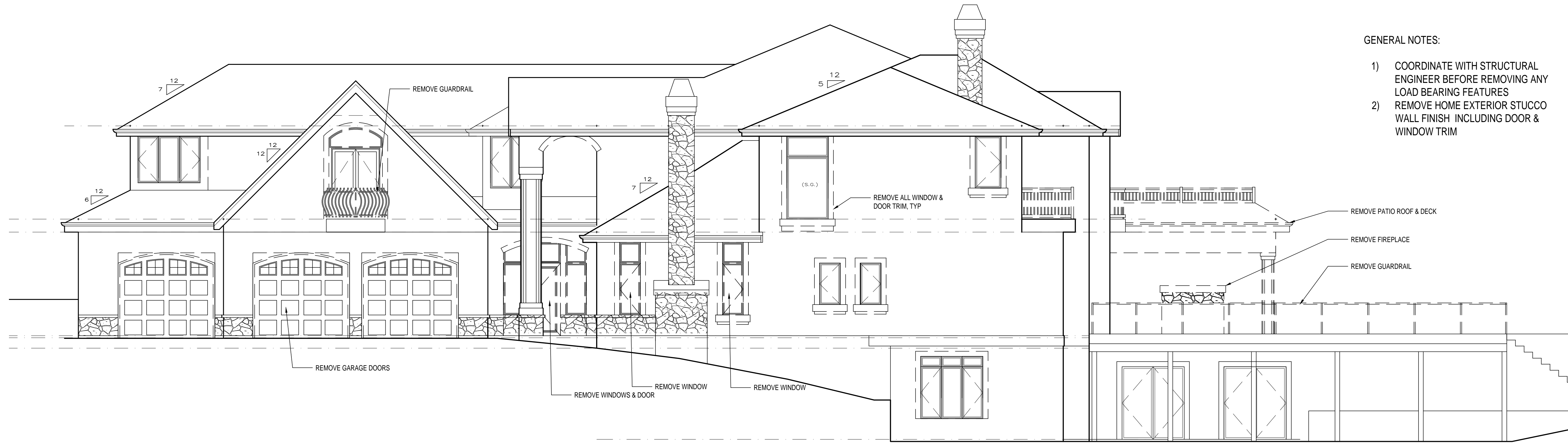
- DEMOLITION KEY:**
- DEMOLISH
 - KEEP EXISTING
 - - - AREA OF WORK

GENERAL NOTES:

- 1) COORDINATE WITH STRUCTURAL ENGINEER BEFORE REMOVING ANY LOAD BEARING FEATURES
- 2) REMOVE HOME EXTERIOR STUCCO WALL FINISH INCLUDING DOOR & WINDOW TRIM

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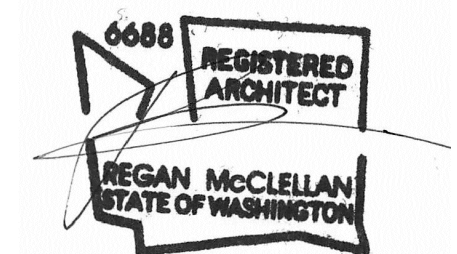
ISSUE:
2020-07-03 REV1



① EAST ELEVATION
3/16" = 1'-0"



② WEST ELEVATION
3/16" = 1'-0"



DATE:
MARCH 13, 2020

SHEET TITLE:
DEMOLITION
BUILDING ELEVATIONS

SHEET:

D3.0



- DEMOLITION KEY:**
- DEMOLISH
 - KEEP EXISTING
 - — — — AREA OF WORK

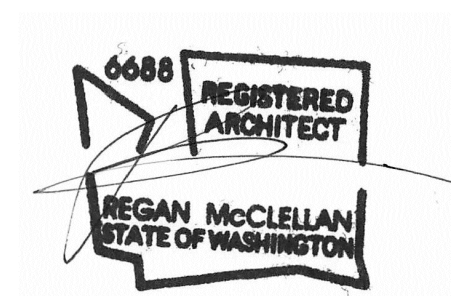
GENERAL NOTES:

- 1) COORDINATE WITH STRUCTURAL ENGINEER BEFORE REMOVING ANY LOAD BEARING FEATURES
- 2) REMOVE HOME EXTERIOR STUCCO WALL FINISH INCLUDING DOOR & WINDOW TRIM

① SOUTH ELEVATION
3/16" = 1'-0"



② NORTH ELEVATION
3/16" = 1'-0"



DATE:
MARCH 13, 2020

SHEET TITLE:
EXT ELEVATIONS
DEMOLITION

SHEET:

D3.1

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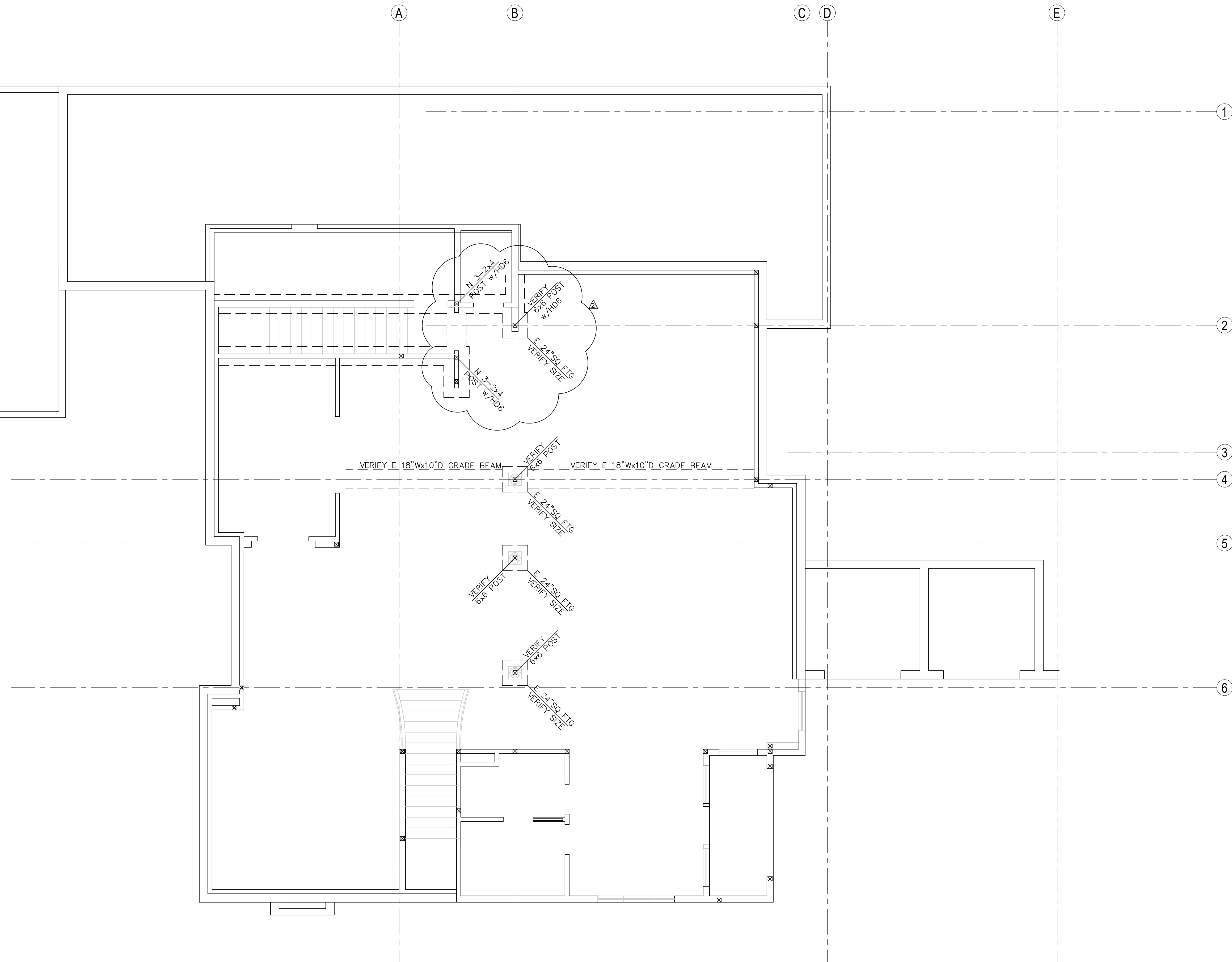
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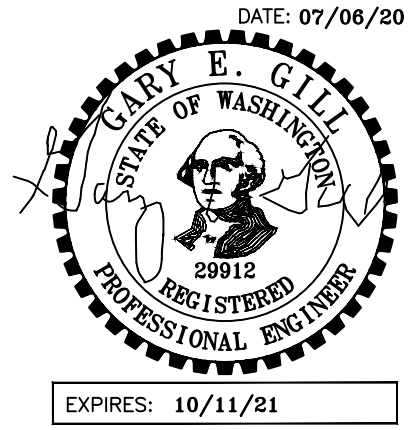


1 BASEMENT/FOUNDATION PLAN
1/4"=1'-0"

DATE:
13 APRIL 2020

SHEET TITLE:
BASEMENT FOUND
PLAN
SHEET:

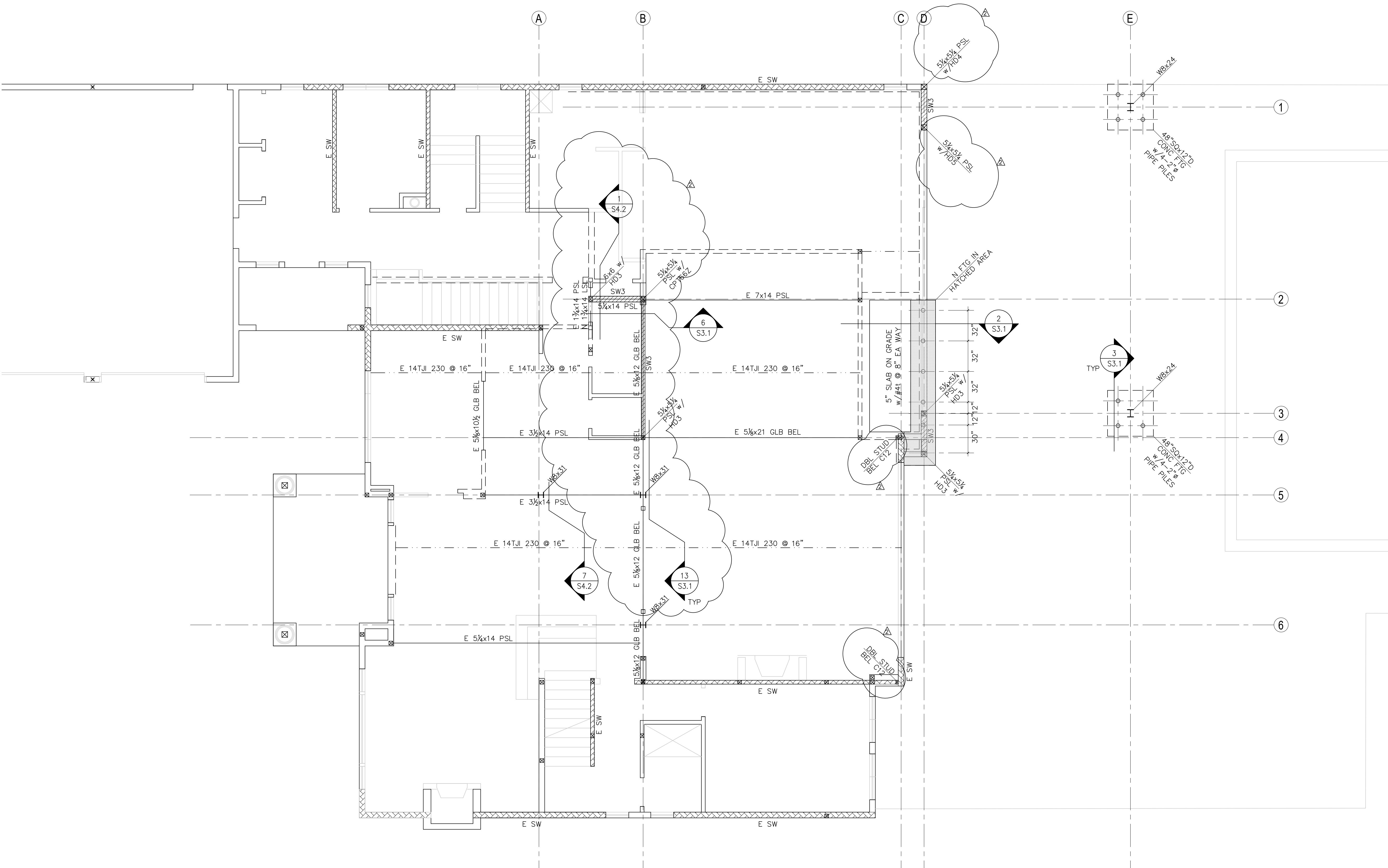
S2.1



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1 MAIN FLOOR FRAMING PLAN
 SCALE: 1/4" = 1'-0"

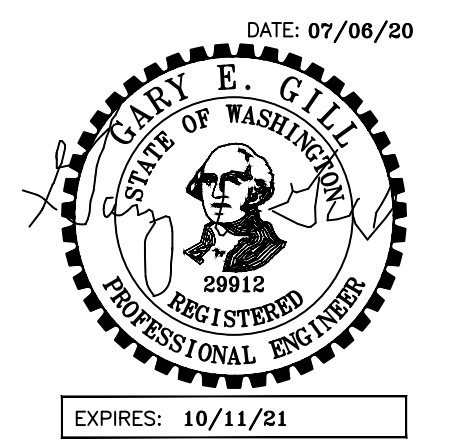
DATE:
 13 APRIL 2020

SHEET TITLE:
 MAIN FLOOR
 FRAMING PLAN
 SHEET:

S2.2

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1 2nd FLOOR FRAMING PLAN
 SCALE: 1/4" = 1'-0"

DATE:
 13 APRIL 2020

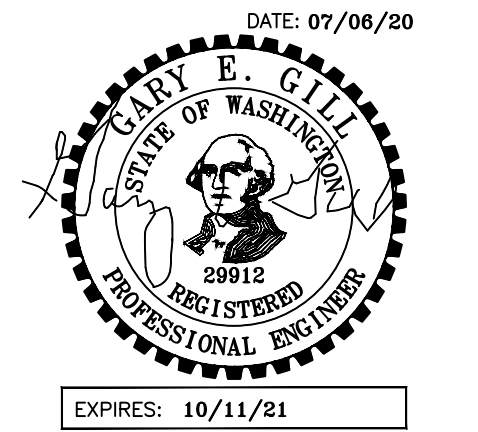
SHEET TITLE:
 2nd FLOOR

FRAMING PLAN
 SHEET:

S2.3

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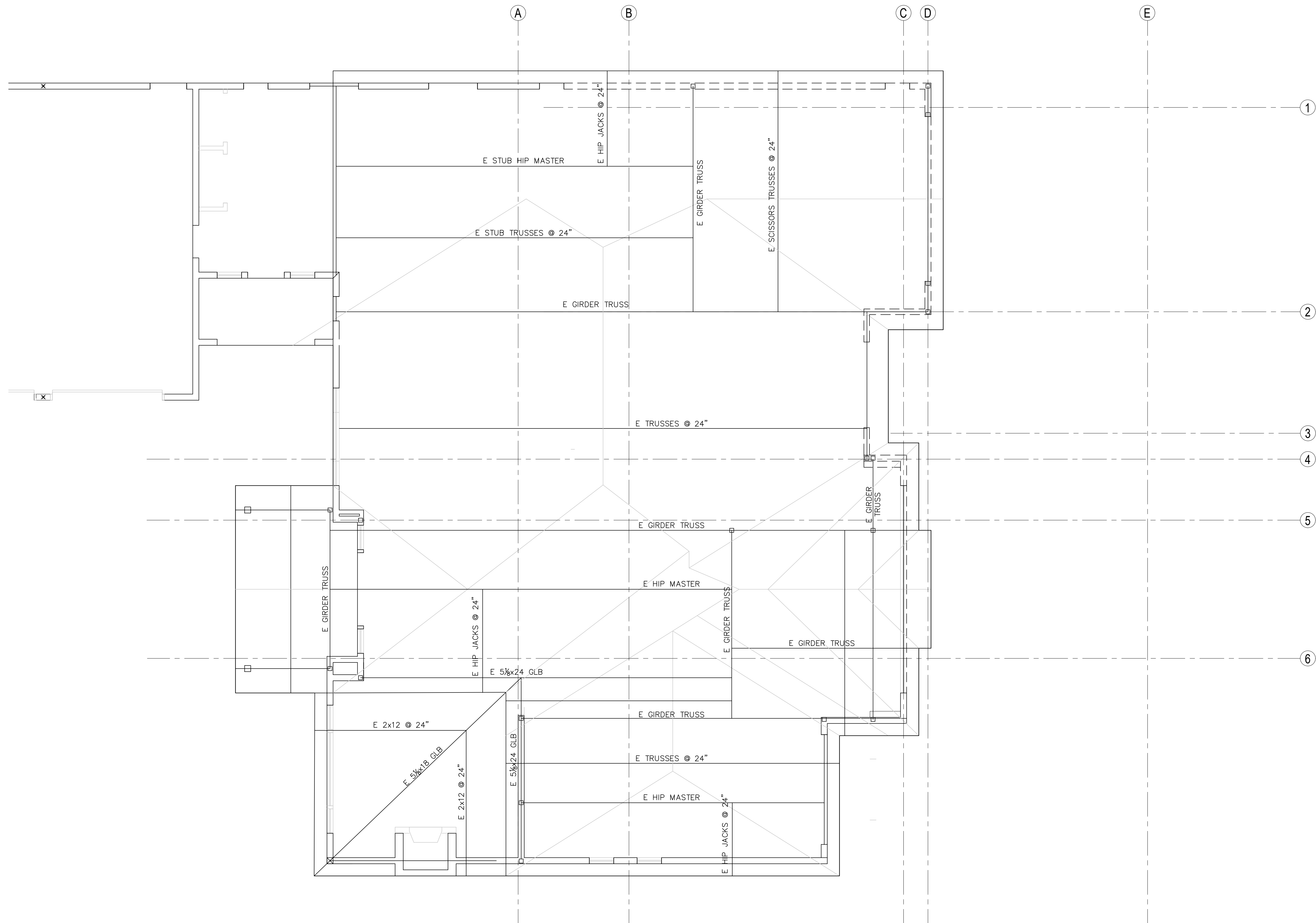
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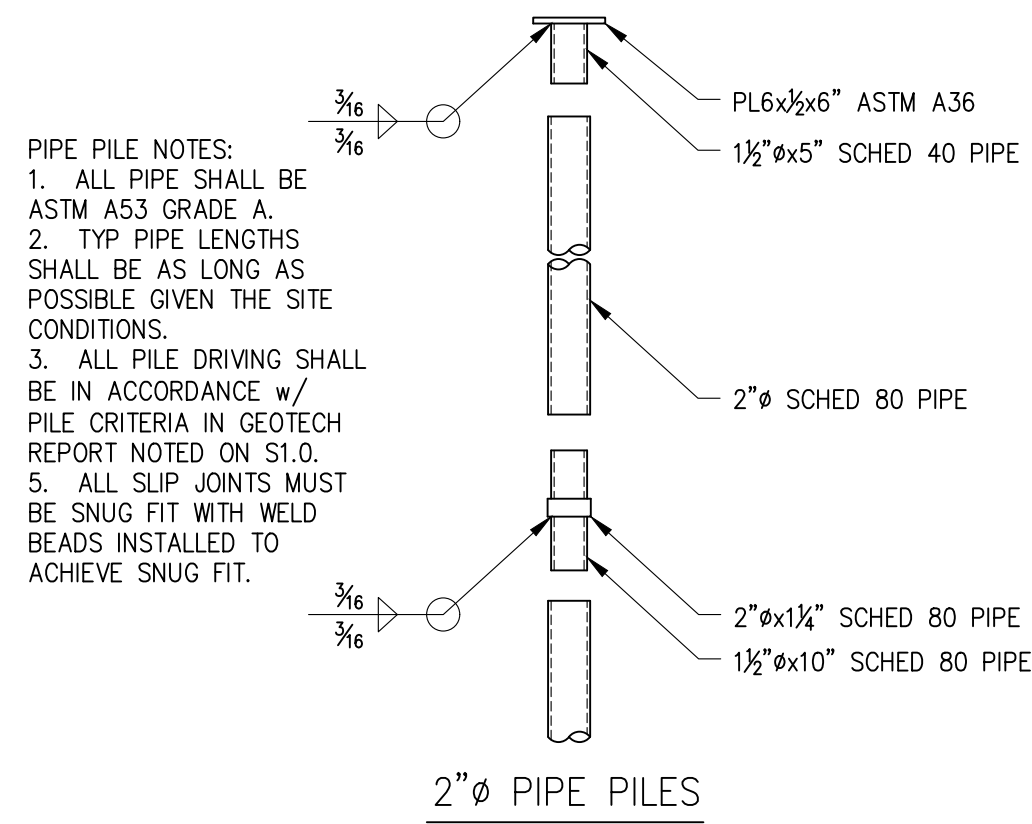
SHEET TITLE:
 EXISTING ROOF

FRAMING PLAN
 SHEET:

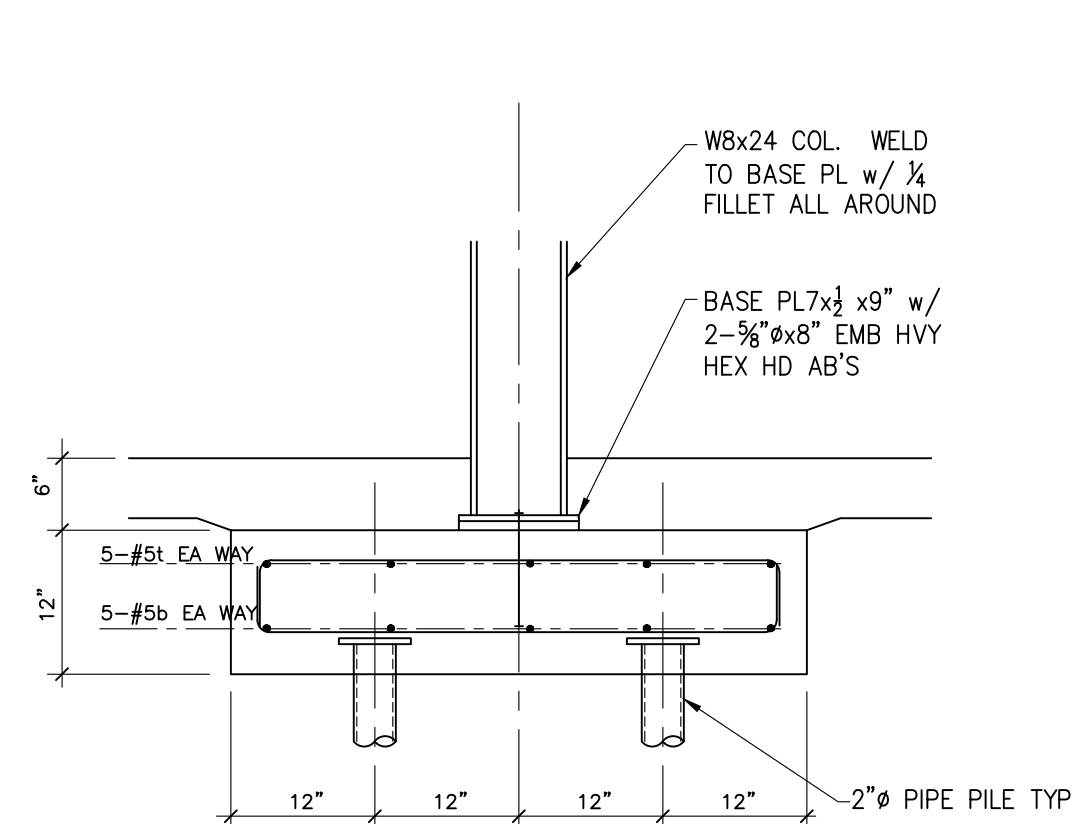
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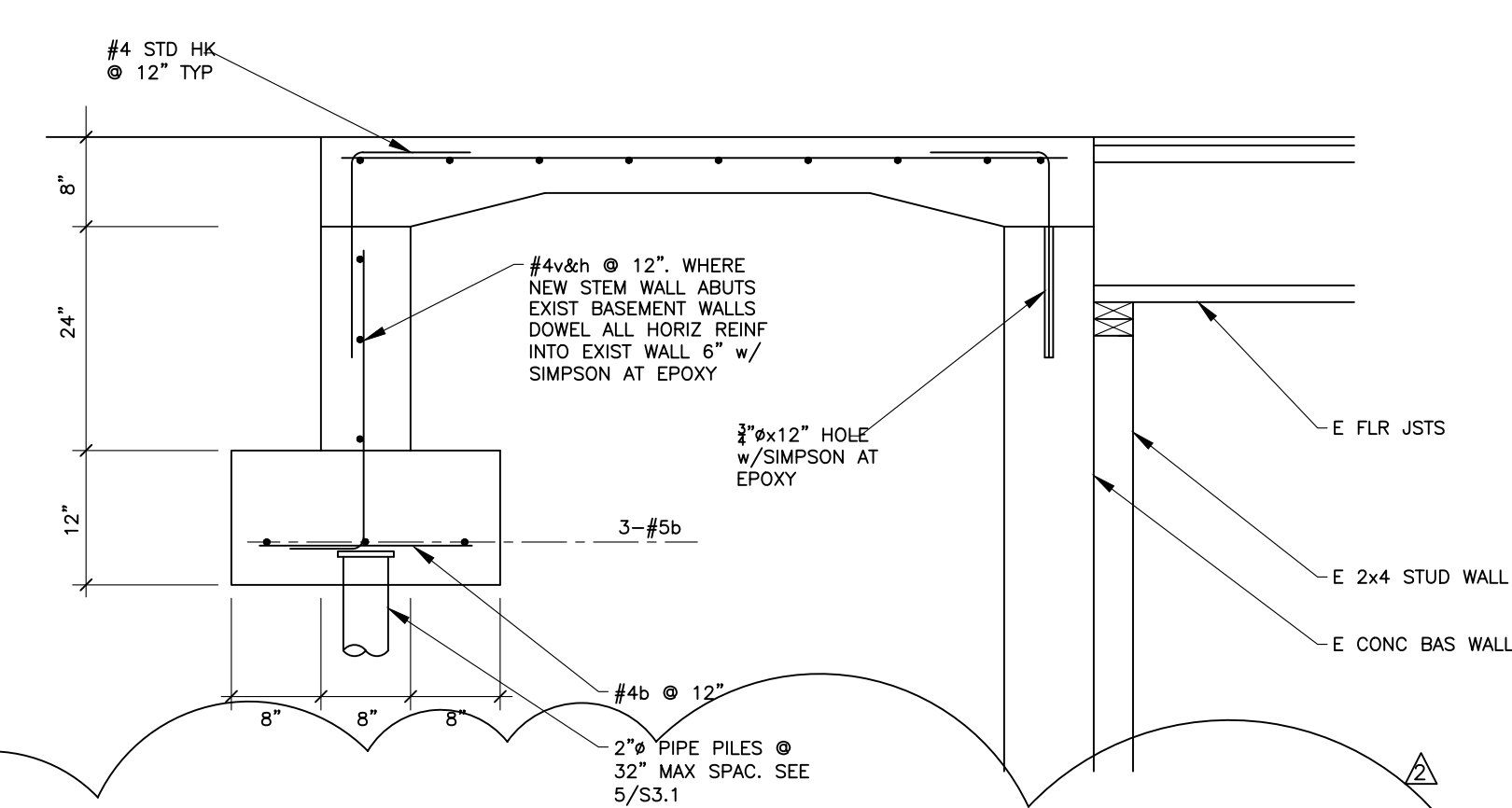
1 EXIST ROOF FRAMING PLAN
 SCALE: 1/4" = 1'-0"



5 TYP PIPE PILE DETAILS
 S3.1 SCALE: 3/4" = 1'-0"

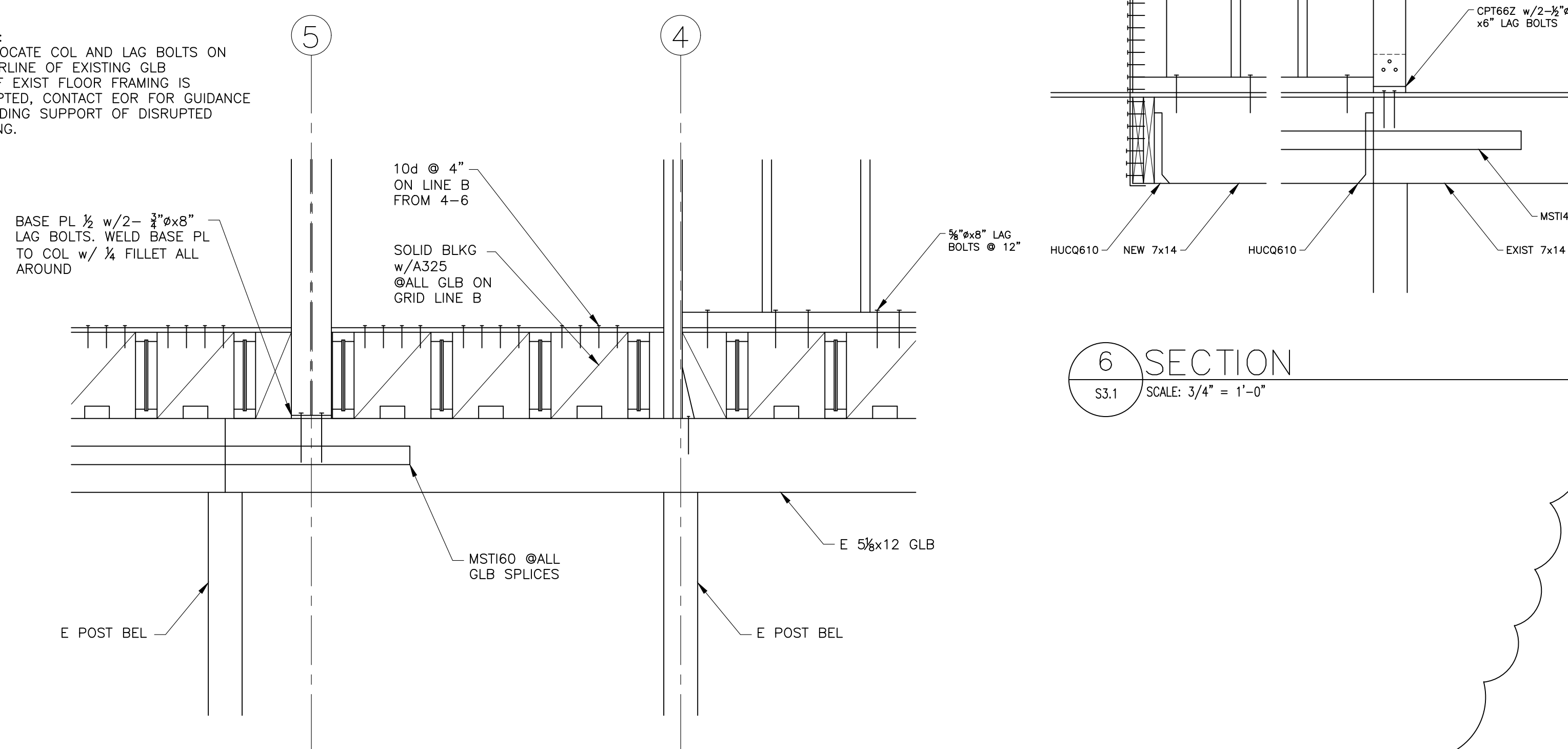


3 SECTION
 S3.1 SCALE: 3/4" = 1'-0"



2 SECTION
 S3.1 SCALE: 3/4" = 1'-0"

NOTES:
 1. LOCATE COL AND LAG BOLTS ON CENTERLINE OF EXISTING GLB
 2. IF EXIST FLOOR FRAMING IS DISRUPTED, CONTACT EOR FOR GUIDANCE REGARDING SUPPORT OF DISRUPTED FRAMING.

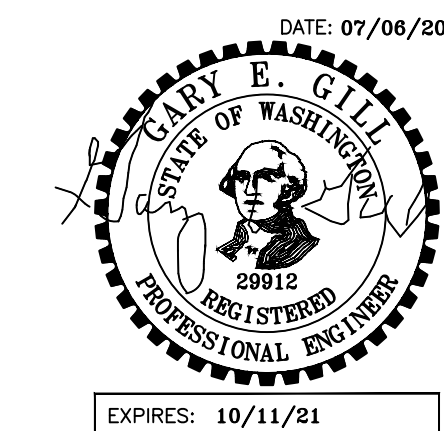


6 SECTION
 S3.1 SCALE: 3/4" = 1'-0"

13 SECTION
 S3.1 SCALE: 3/4" = 1'-0"

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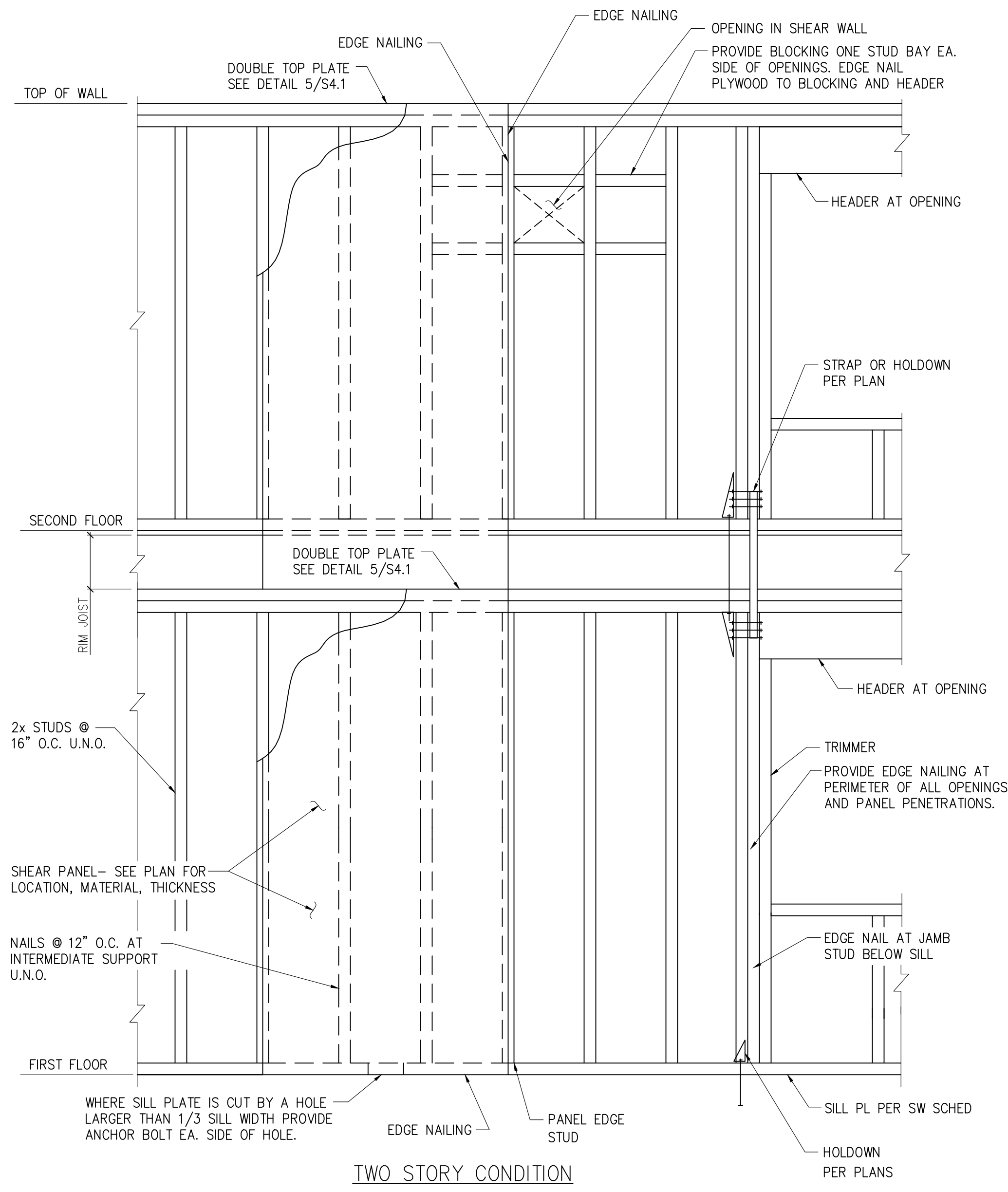
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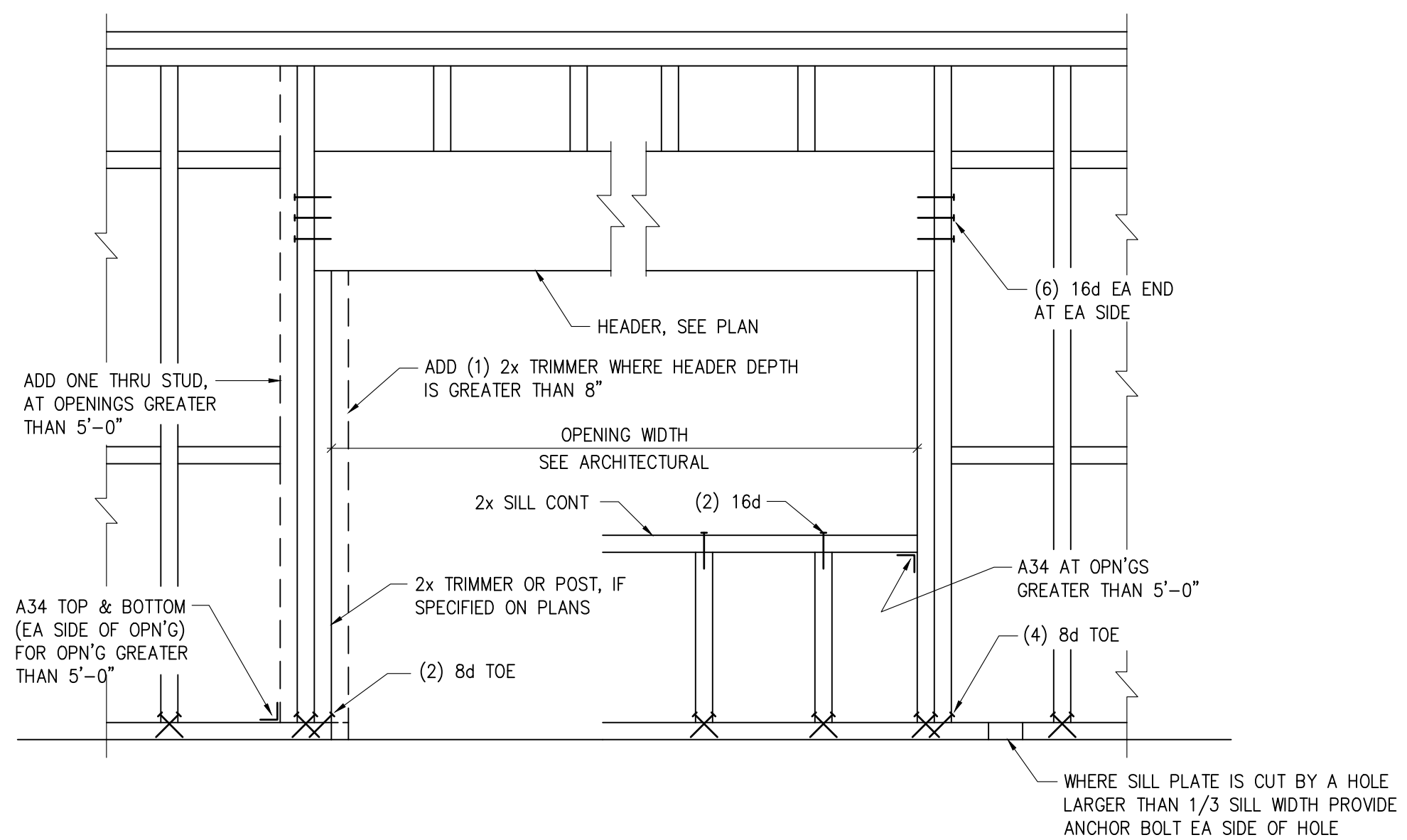
SHEET TITLE:
 FOUNDATION DETAILS

SHEET:

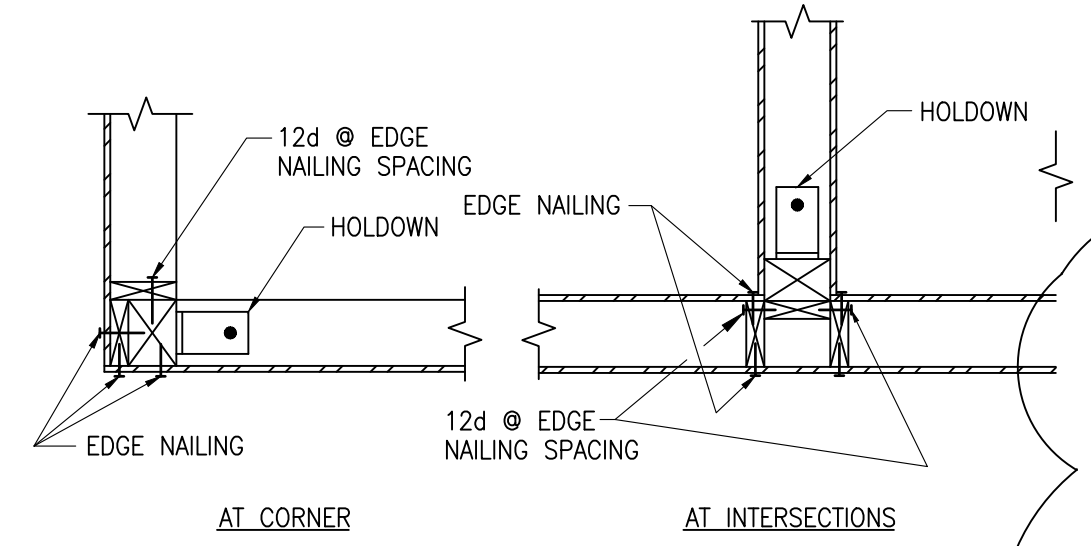
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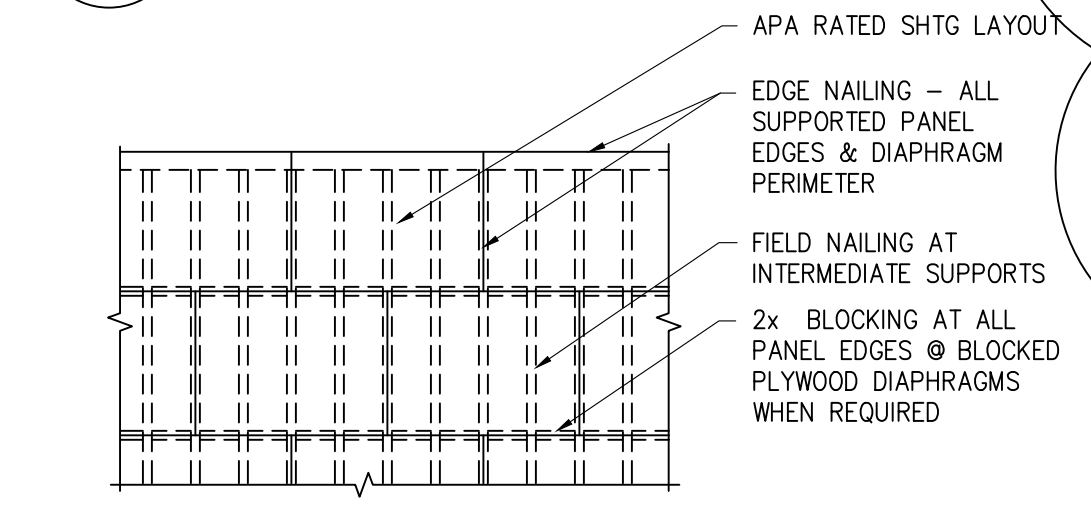
1 SHEAR WALL ELEVATION
S4.1 SCALE: 3/4" = 1'-0"



2 HEADER CONNECTION DETAIL
S4.1 SCALE: 3/4" = 1'-0"

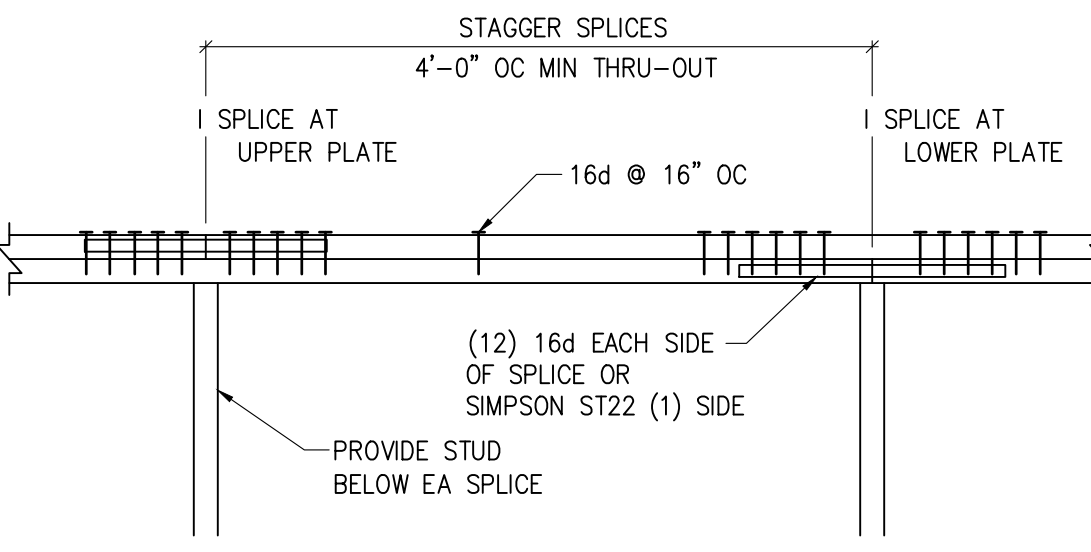


3 HOLD DOWN PLAN VIEWS
S4.1 SCALE: 3/4" = 1'-0"

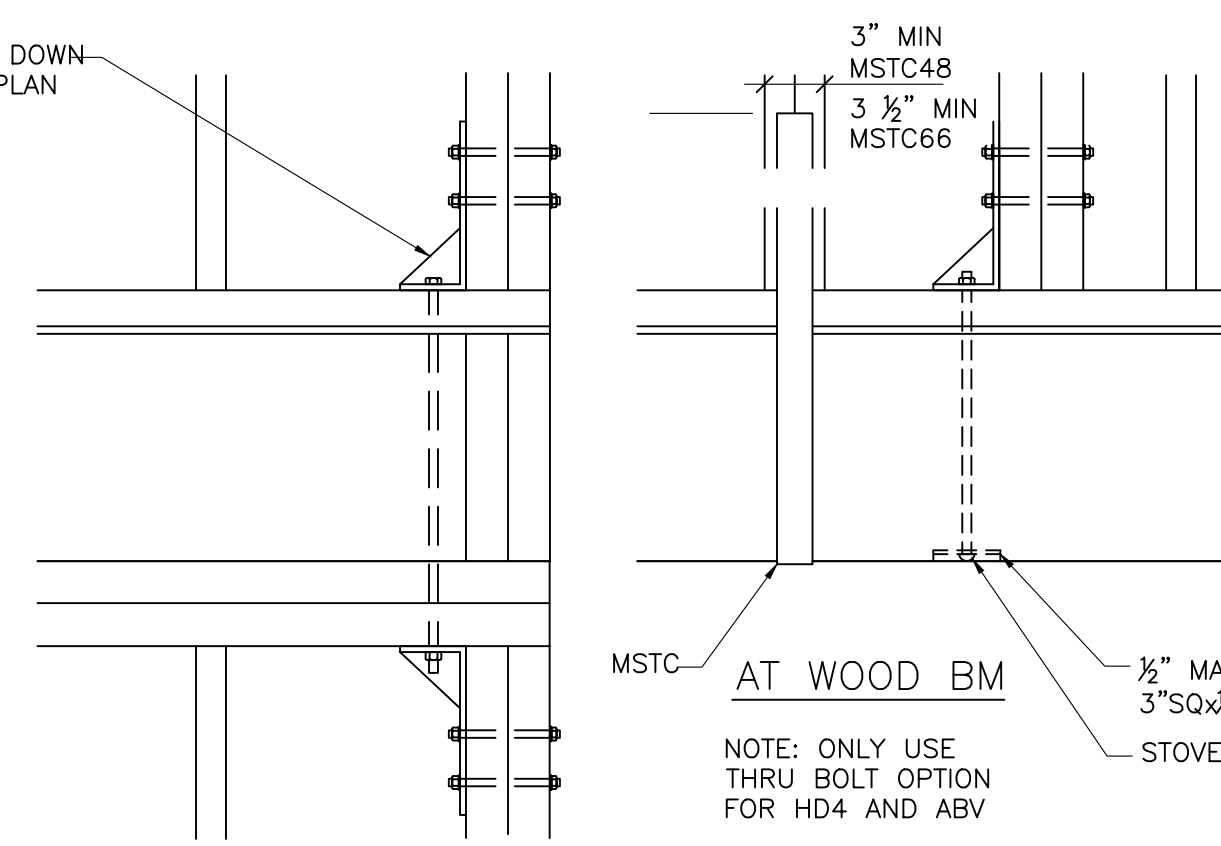


- NOTES:
1. MIN EDGE DISTANCE FOR NAILS SHALL BE 3/8".
 2. MIN SHEATHING SHEET SIZE SHALL BE 2'-0"x4'-0".
 3. NAILS SHALL NOT BE OVERDRIVEN.
 4. NAILS SHALL BE COMMON WIRE TYPE OR APPROVED EQUAL.
 5. SEE PLANS FOR AREAS OF BLOCKED DIAPHRAGMS

4 SHEATHED DIAPHRAGM CONSTRUCTION
S4.1 SCALE: 3/4" = 1'-0"



5 DBL TOP PLATE SPLICE
S4.1 SCALE: 3/4" = 1'-0"



6 HOLD DOWN DETAILS
S4.1 SCALE: 3/4" = 1'-0"

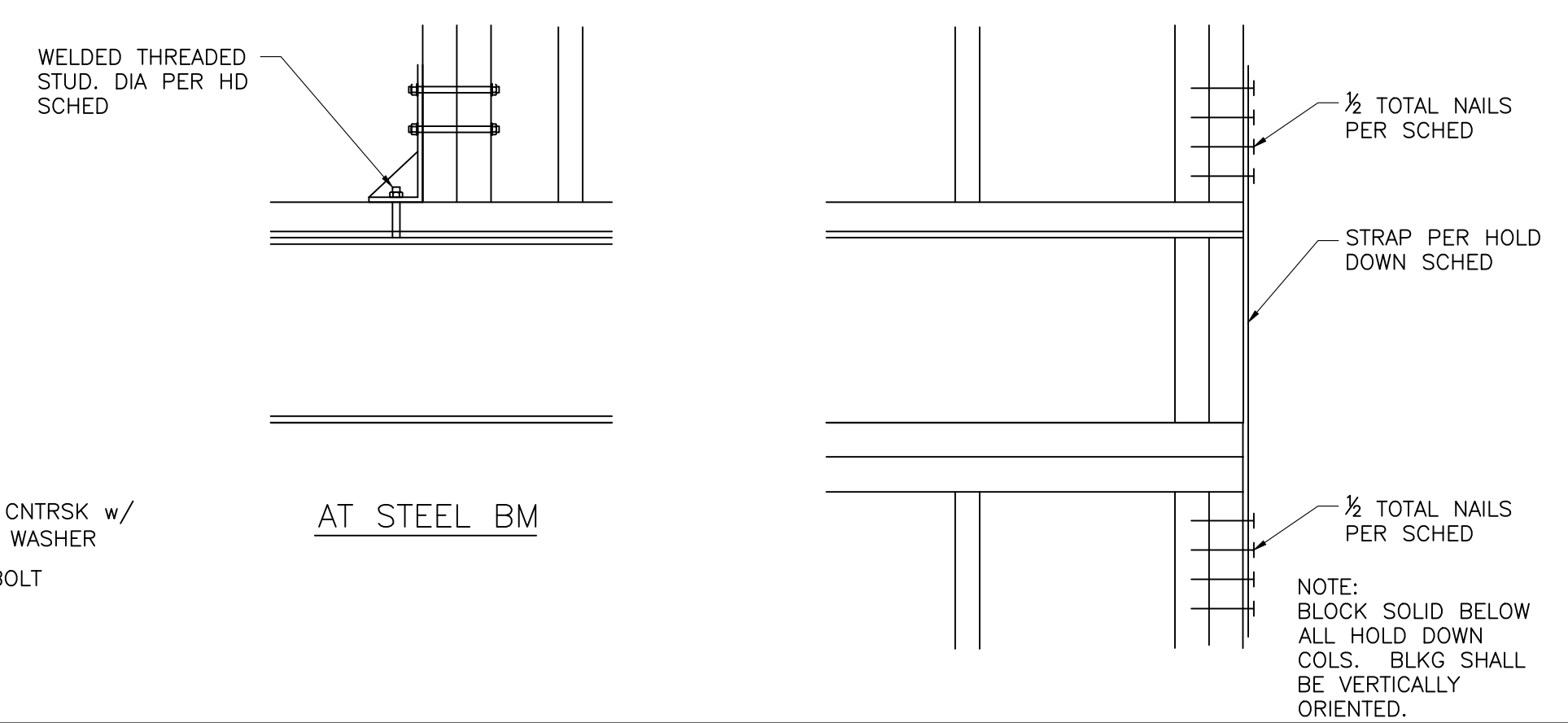
HOLD DOWN SCHEDULE					
MARK	HOLD DOWN	ANCHOR BOLTS	STUD FASTENERS	MIN POST REQUIRED	ALLOWABLE TENSION (lbs)
					DOUG-FIR
HD1	MST1	18--.148x1 1/2" EA END	18--.148x 1 1/2" EA END	(2) 2x	3808
HD2	HDU2-SDS2.5 OR MSTC48B3 @ WD BM BEL	3/8" MB FLR TO FLR, SSTB16L @ NEW CONC WALL OR FTG, 5/8"x12 1/2" EMB @ EXIST CONC STEM WALL	6-SDS 1/4"x2 1/2" @ HDU2 38-10d @ MSTC	(2) 2x	3075
HD3	HDU4-SDS2.5 OR MSTC66B3 @ WD BM BEL	3/8" MB FLR TO FLR SB 5/8"x24 @ NEW CONC WALL	10-SDS 1/4"x2 1/2" @ HDU4 38-10d @ MSTC	(2) 2x	4565
HD4	HTT5	3/4"x15" EMB @ EXIST CONC STEM WALL w/SIMPSON AT EPOXY	26-0.162x 2 1/2" NAILS	4x6 MIN	5090
HD5	HDU2-SDS2.5	3/8" x 12 1/2" EMB @ EXIST CONC WALL	6-SDS 1/4"x2 1/2"	6x6	3075
HD6	HDU2-SDS2.5	3/8" x 8" EMB @ EXIST CONC FTG		(2) 2x	3075

- HOLD DOWN NOTES:
1. HOLD DOWNS ARE REQUIRED AS SHOWN ON THE FRAMING PLANS.
 2. AT CORNERS COMMON TO TWO SHEAR WALLS USE THE LARGER OF THE HOLD DOWNS ONLY.
 3. ALL HOLD DOWN COLUMNS SHALL BE DF.
 4. HOLD DOWN ANCHOR BOLTS THAT OCCUR ABOVE A WF BEAM SHALL BE WELDED DIRECTLY TO THE WF BEAM BELOW SO THAT THE FULL CAPACITY OF THE ANCHOR BOLT IS DEVELOPED.
 5. ALL HOLD DOWNS SHALL BE CONNECTED TO POSTS BELOW AND A BEAM BELOW. SEE 6/- FOR DETAILS.
 6. ALL CALLOUTS REFER TO SIMPSON STRONGTIE PRODUCTS. OTHER MANUFACTURED HOLD DOWNS MAY BE SUBSTITUTED PROVIDED THAT TESTING DATA IS PROVIDED TO VERIFY THAT THE VALUES LISTED WILL BE MET OR EXCEEDED.

SHEAR WALL SCHEDULE								
MARK	APA RATED SHEATHING	NAILING AT PANEL EDGES	PANEL EDGE STUD AND BLKG	RIM JOIST OR BLOCK CONNECTION TO TOP PLATE	HEM-FIR (NORTH), BOTTOM PLATE ATTACHMENT TO WOOD BELOW	HEM-FIR (NORTH), SILL PLATE ATTACHMENT		CAPACITY (plf)
						ANCHOR BOLT	SILL	
SW1	15/32" PLYWOOD SHEATHING, ONE SIDE	10d @ 6" OC	2X	A35 @ 16" OC	(2) 16d @ 16" OC OR 5/8" LAG SCREWS @ 32" OC	3/4" @ 48" OC OR @ MTL DK 0.177 PAF @ 6"	2X MIN	310
SW2	15/32" PLYWOOD SHEATHING, ONE SIDE	10d @ 4" OC	3X MIN	A34 AND LTP4 16" OC	(2) 16d @ 8" OC OR 5/8" LAG SCREWS @ 16" OC	3/4" @ 24" OC	3X MIN	460
SW3	15/32" PLYWOOD SHEATHING, ONE SIDE	10d @ 3" OC	3X MIN	A35 AND LTP4 16" OC	5/8" LAG SCREWS @ 12" OC	3/4" @ 18" OC	3X MIN	600
SW4	15/32" PLYWOOD SHEATHING, ONE SIDE	10d @ 2" OC	3X MIN	A35 AND LTP4 16" OC	5/8" LAG SCREWS @ 8" OC	3/4" @ 12" OC	3X MIN	770
SW5	15/32" PLYWOOD SHEATHING, TWO SIDES	10d @ 3" OC	3X MIN	A35 AND LTP4 8" OC	5/8" LAG SCREWS @ 4" OC	3/4" @ 8" OC	3X MIN	1200
SW6	SIMP WOOD SHEAR WALL WSW24x7	NA	NA	PER SIMPSON	PER SIMPSON	PER SIMPSON	PER SIMP	2770

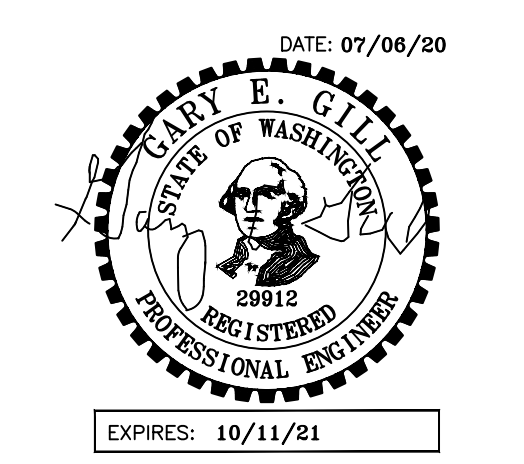
- SHEAR WALL NOTES:
1. INSTALL PANELS EITHER HORIZONTALLY OR VERTICALLY.
 2. WHERE SHEATHING IS APPLIED ON BOTH FACES OF WALL, PANEL JOINTS SHALL BE STAGGERED SO THAT JOINTS ON OPPOSITE SIDES ARE NOT LOCATED ON THE SAME STUDS.
 3. BLOCKING IS REQUIRED AT ALL PANEL EDGES.
 4. PROVIDE SHEARWALL SHEATHING AND NAILING FOR THE ENTIRE LENGTH OF WALLS INDICATED ON PLAN.
 5. INTERMEDIATE FRAMING TO BE WITH 2X MINIMUM MEMBERS.
 6. FIELD NAILING @ 12" OC.
 7. PROVIDE HOT-DIPPED GALVANIZED (ELECTRO-PLATING IS NOT ACCEPTABLE) NAILS AND CONNECTOR PLATES FOR ALL CONNECTORS IN CONTACT WITH PRESSURE TREATED FRAMING MEMBERS.
 8. WHERE BOTTOM PLATE ATTACHMENT SPECIFIES (2) ROWS OF NAILS, PROVIDE DOUBLE JOIST, RIM OR EQUAL. ATTACH PER DETAILS.
 9. ALL SHEAR WALL FRAMING TO BE DF. NO OTHER SPECIES ALLOWED.

SHEAR WALL & HOLD DOWN SCHEDULES
NO SCALE



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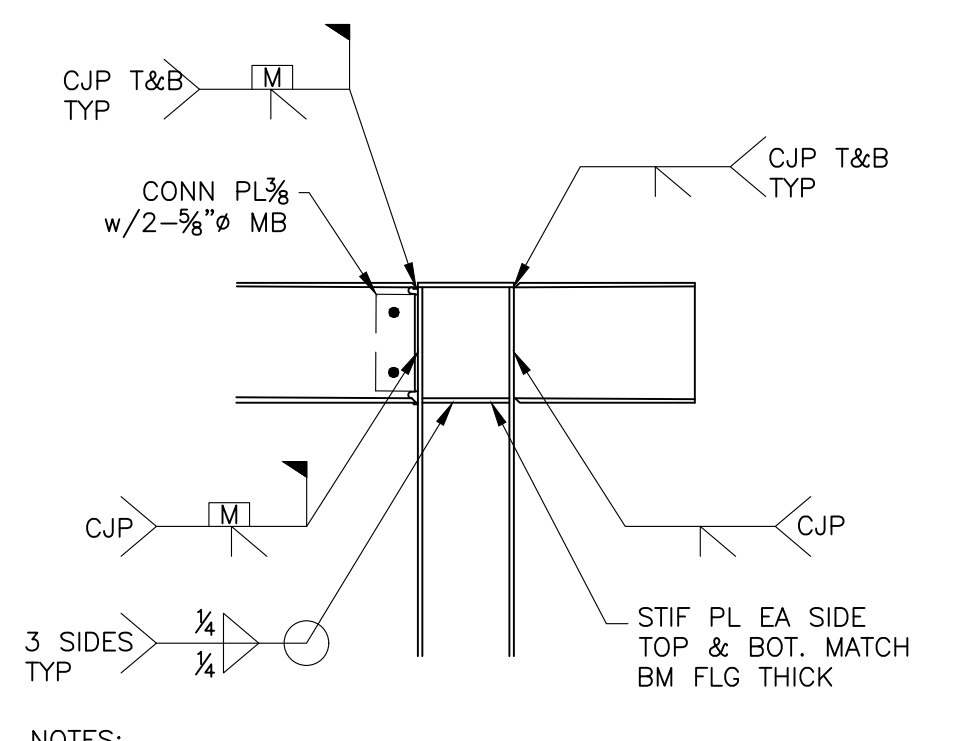
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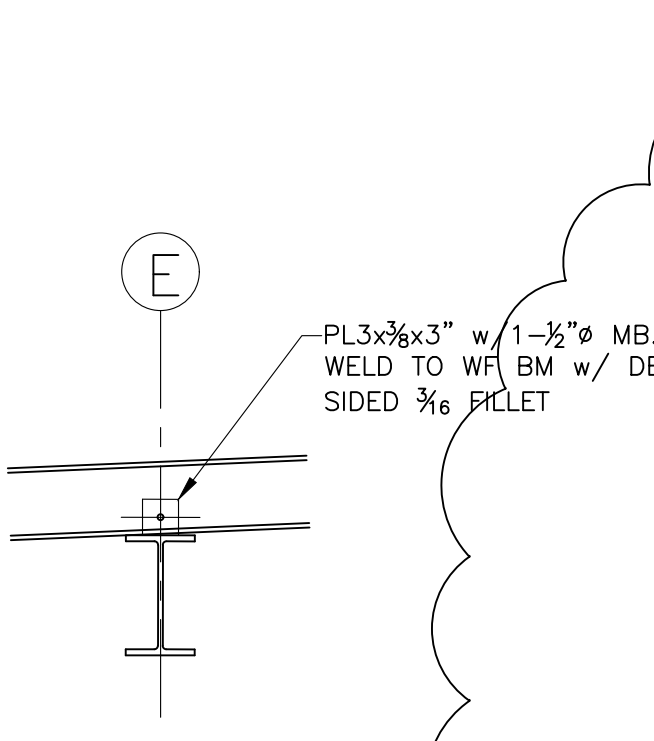
SHEET TITLE:
TYP FRAMING
DETAILS
SHEET:

S4.1

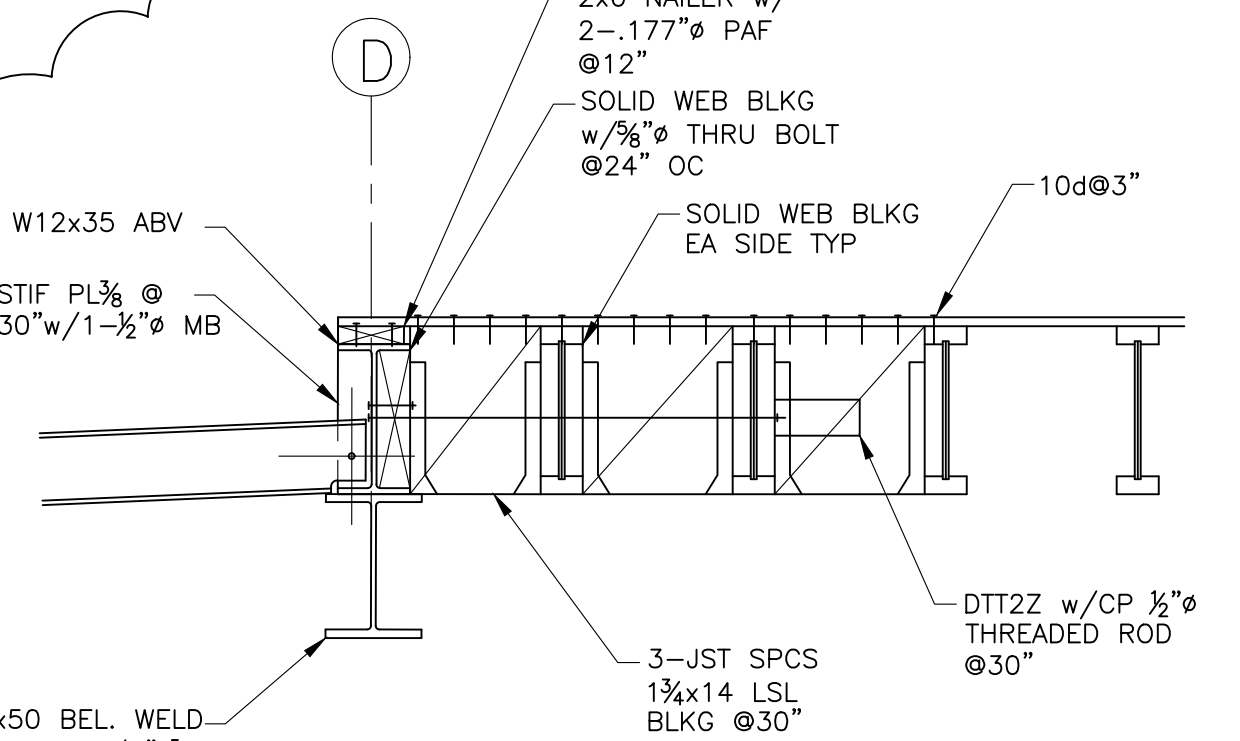


NOTES:
 1. CJP WELD FILLER METALS MUST MEET AWS D1.8 CLAUSE 6.3.
 2. AFTER FIELD WELDS ARE IN PLACE, REMOVE CONNECTION PLATE AND BACKER BARS AND WELD SOLID BOLT HOLES. GRIND ALL SURFACES SMOOTH.

5 SECTION
 S4.2 SCALE: 3/4" = 1'-0"

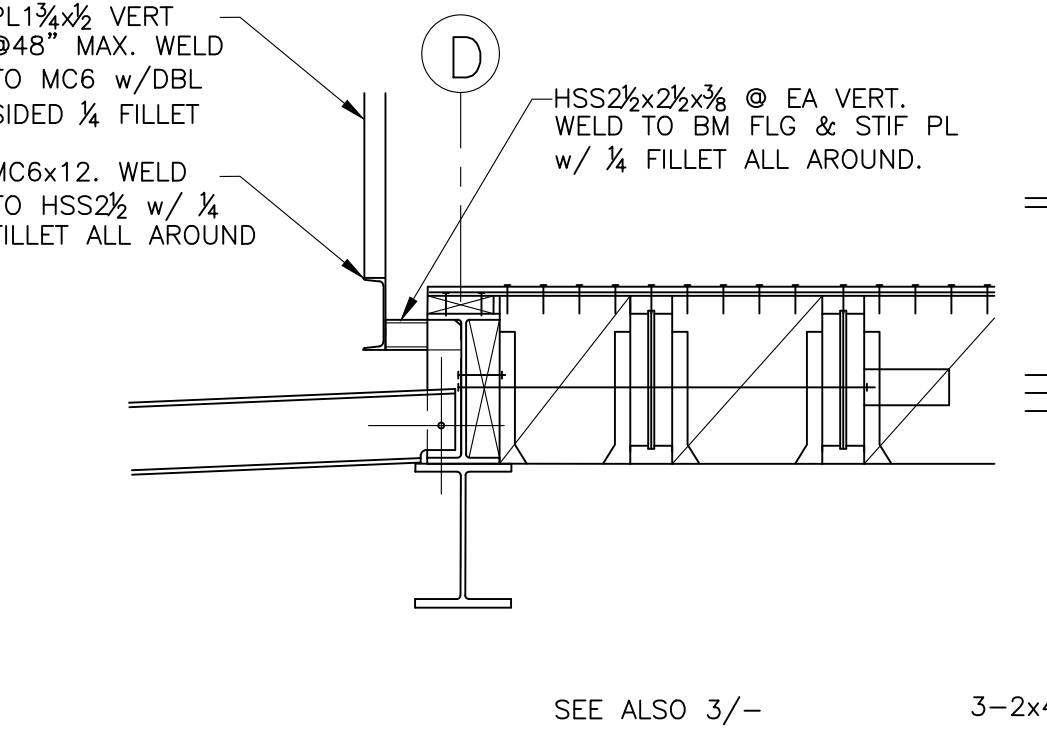


4 SECTION
 S4.2 SCALE: 3/4" = 1'-0"

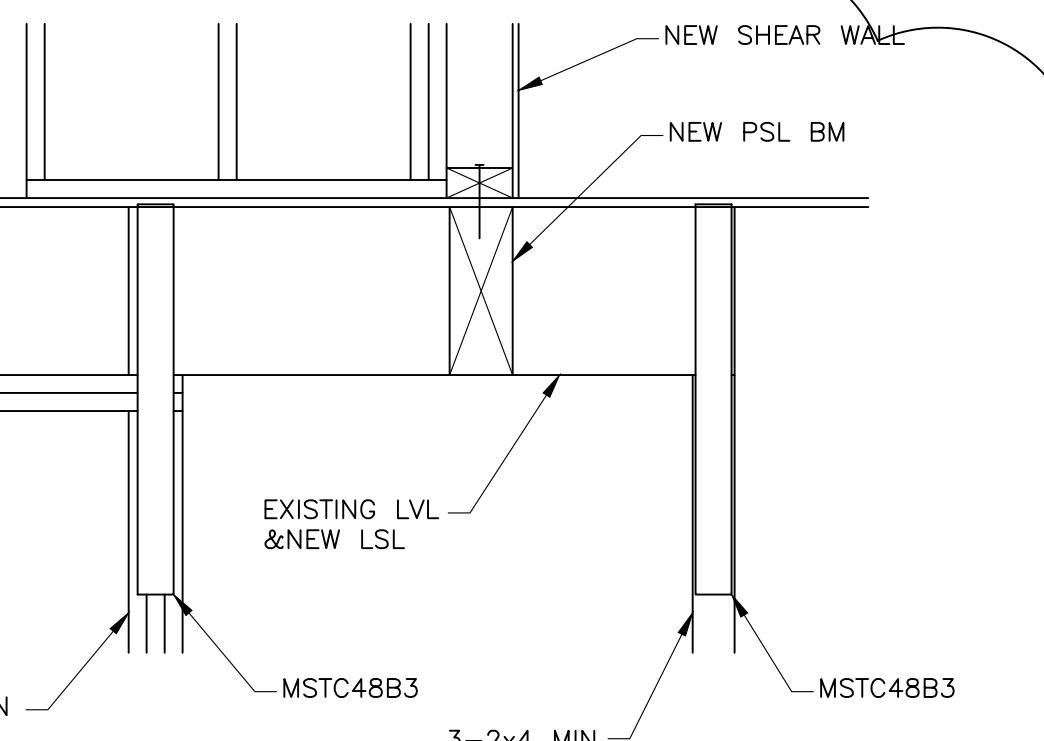


NOTES:
 1. AT GUARDRAIL SEE 2/-
 2. FOR BLKG SEE 8/-

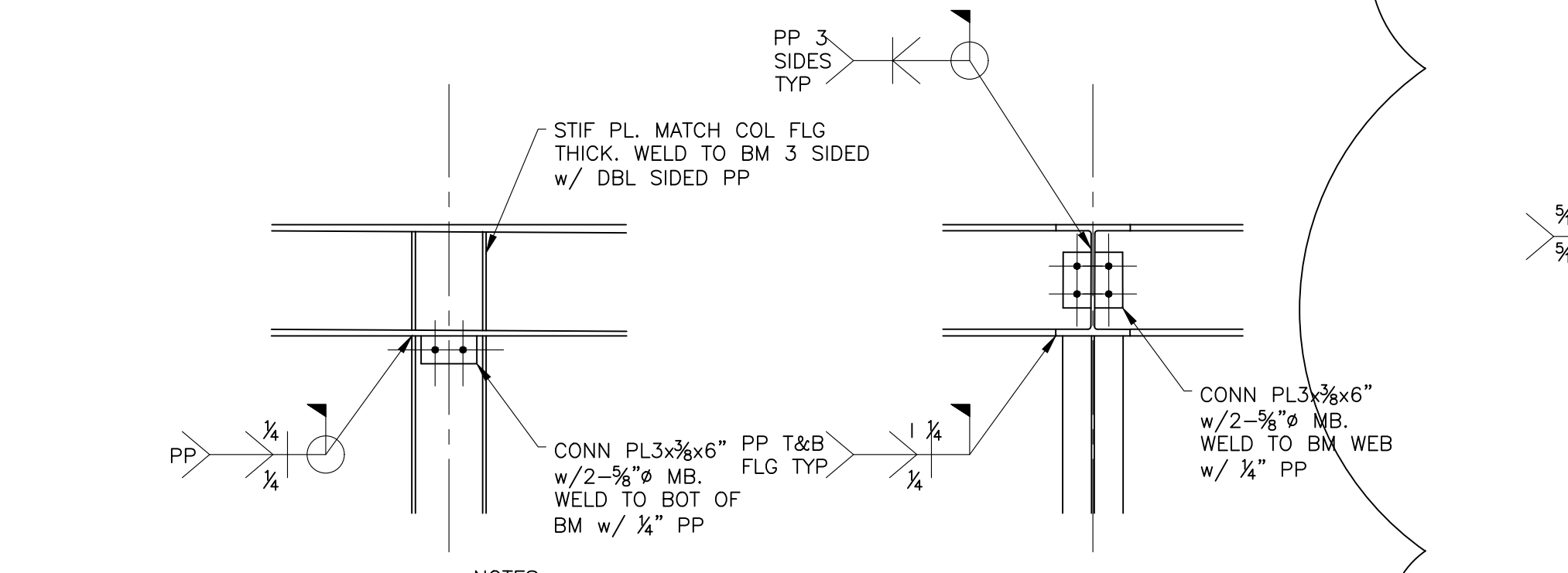
3 SECTION
 S4.2 SCALE: 3/4" = 1'-0"



2 SECTION
 S4.2 SCALE: 3/4" = 1'-0"

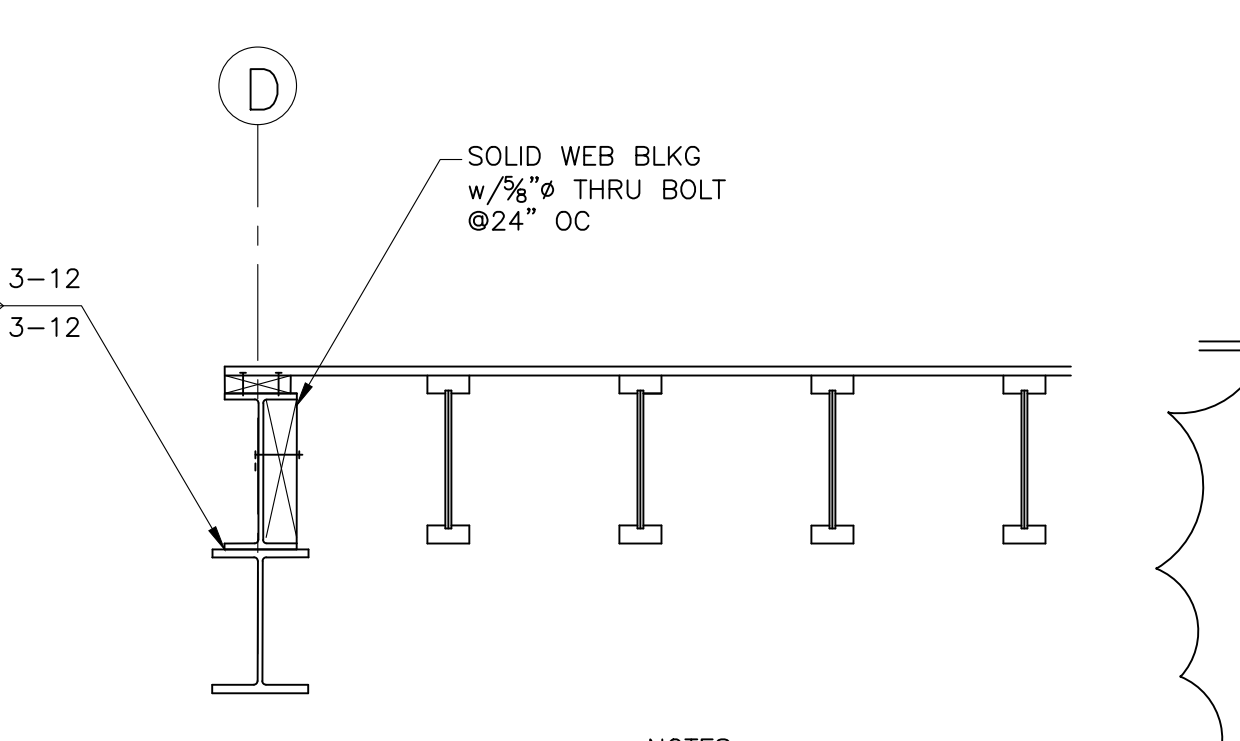


1 SECTION
 S4.2 SCALE: 3/4" = 1'-0"



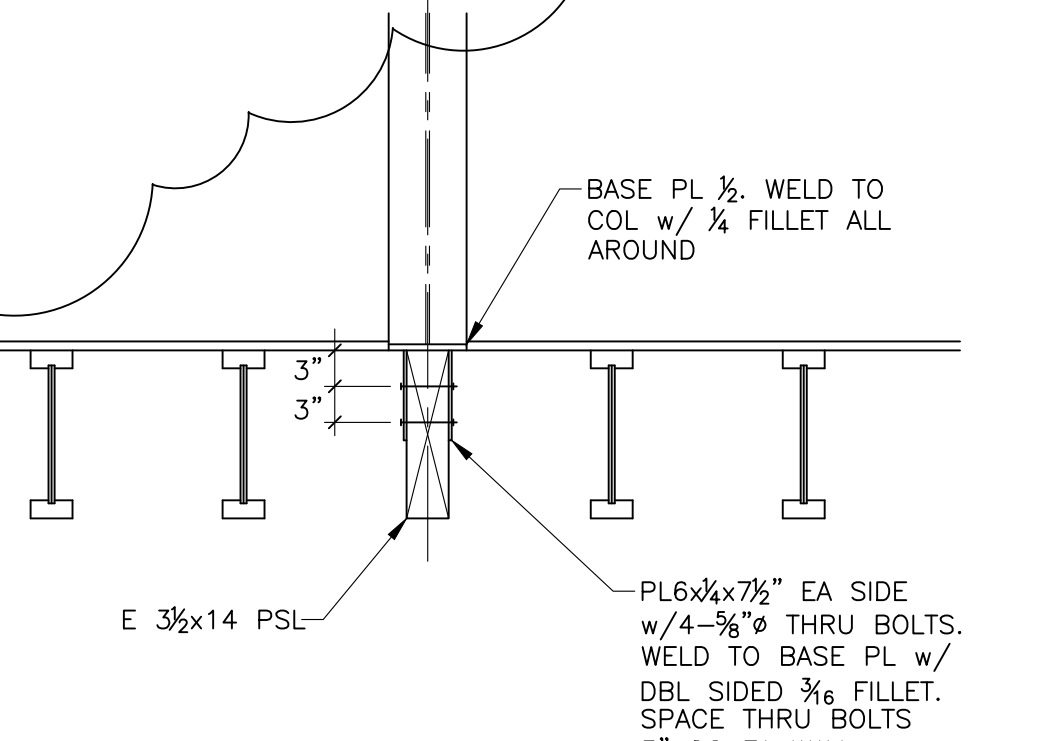
NOTES:
 1. AFTER FIELD WELDS ARE IN PLACE, REMOVE CONNECTION PLATE AND WELD SOLID BOLT HOLES. GRIND ALL SURFACES SMOOTH.

10 SECTION
 S4.2 SCALE: 3/4" = 1'-0"



NOTES:
 1. AT GUARDRAIL SEE 2/-
 2. FOR NAILER FAST SEE 3/-

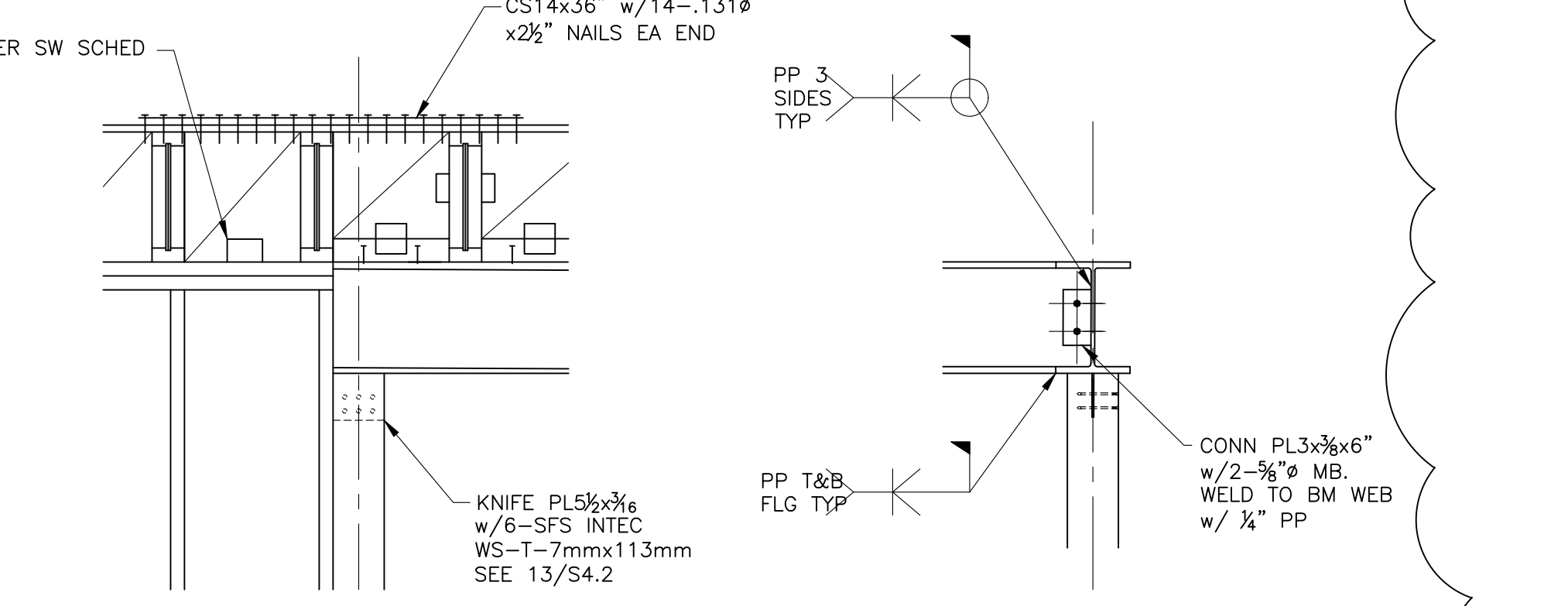
8 SECTION
 S4.2 SCALE: 3/4" = 1'-0"



7 SECTION
 S4.2 SCALE: 3/4" = 1'-0"

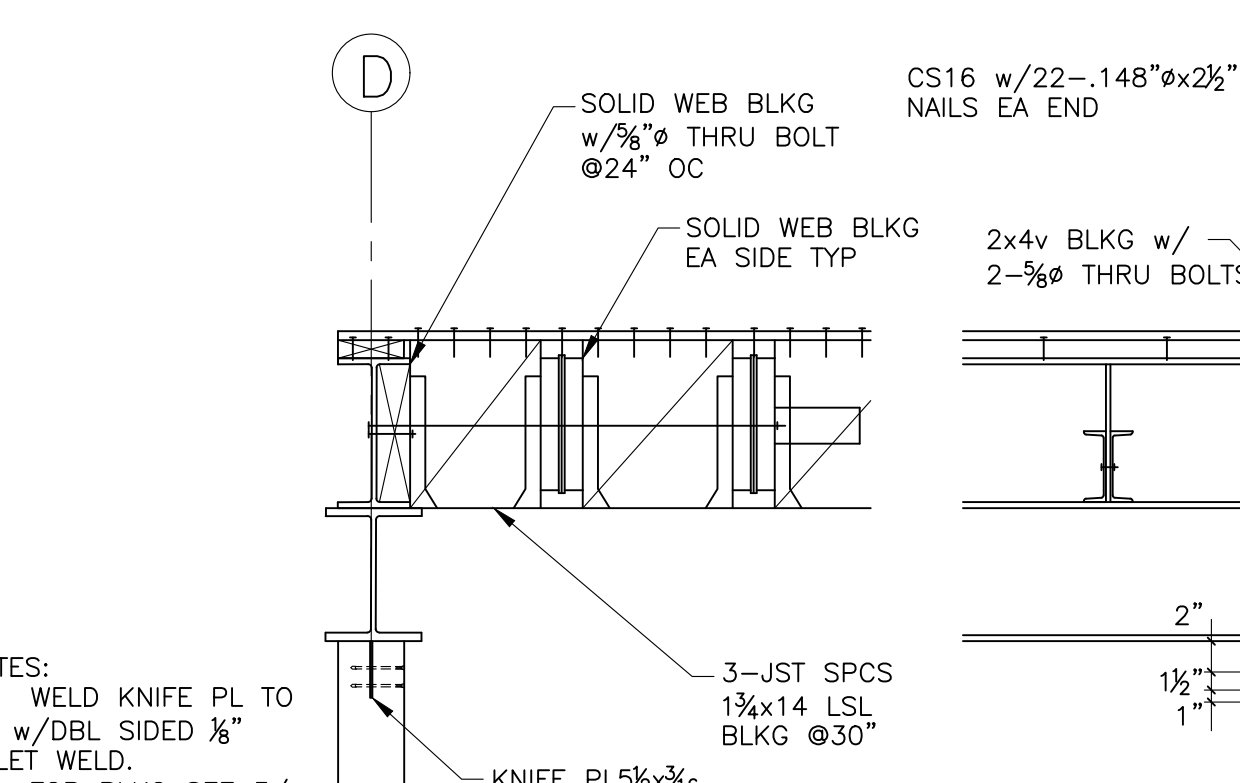


11 SECTION
 S4.2 SCALE: 3/4" = 1'-0"



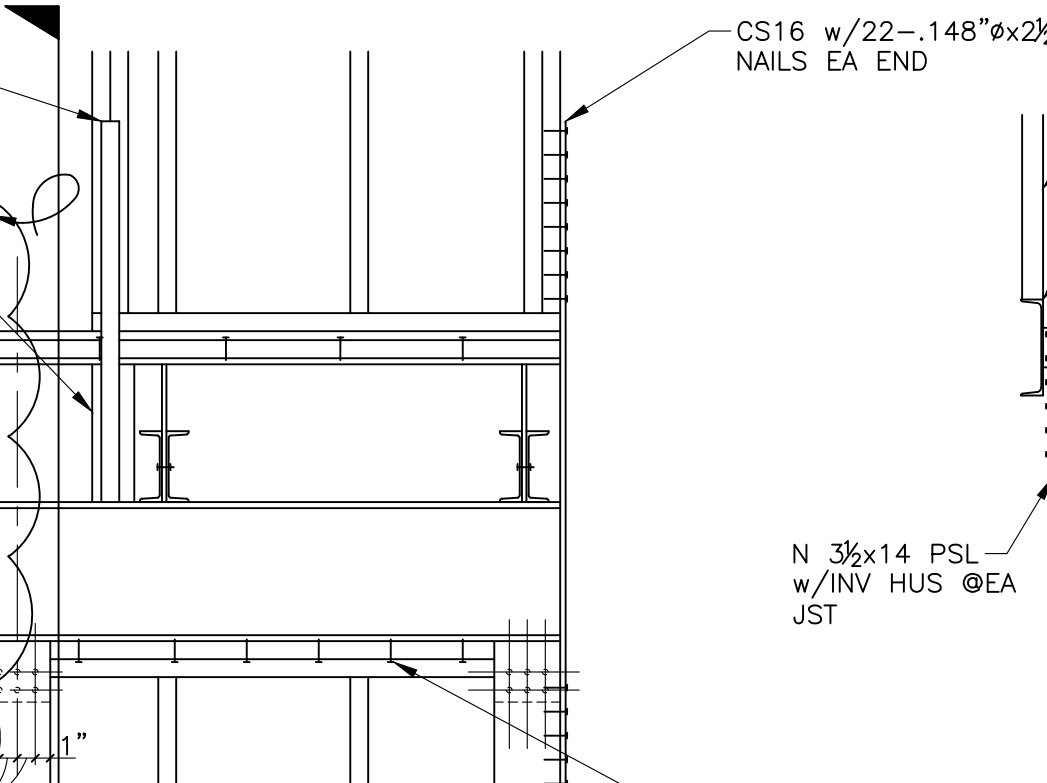
NOTES:
 1. AFTER FIELD WELDS ARE IN PLACE, REMOVE CONNECTION PLATE AND WELD SOLID BOLT HOLES. GRIND ALL SURFACES SMOOTH.

15 SECTION
 S4.2 SCALE: 3/4" = 1'-0"

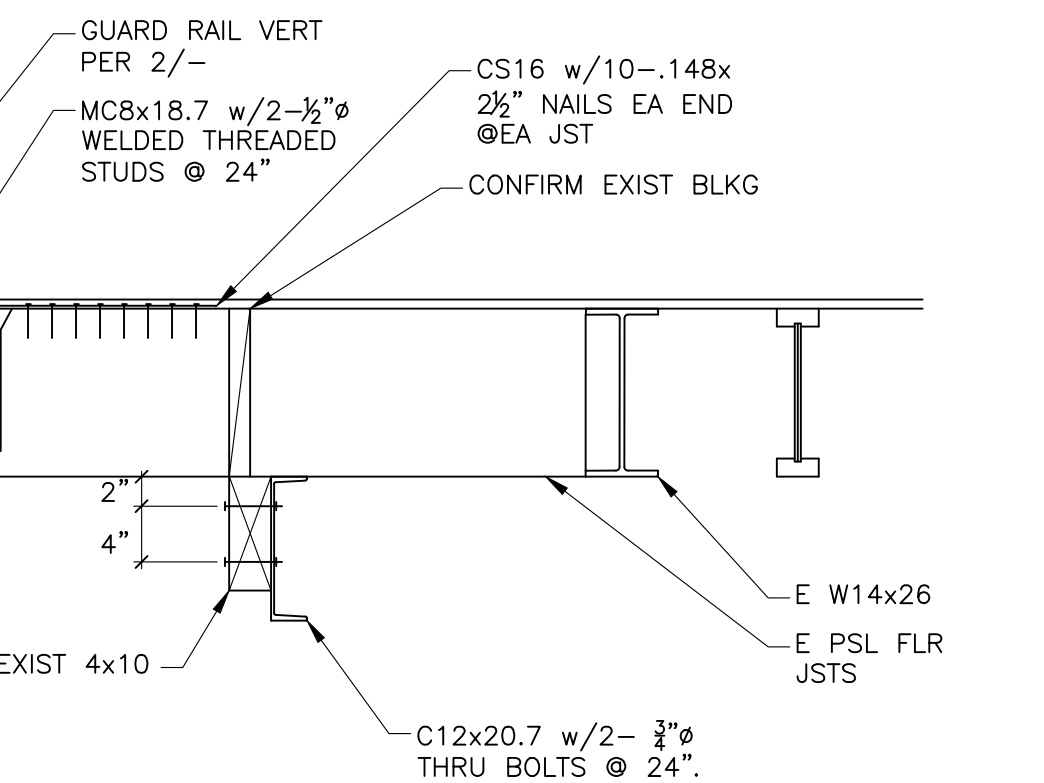


NOTES:
 1. WELD KNIFE PL TO WF w/DBL SIDED 5/8 FILLET WELD.
 2. FOR BLKG SEE 3/-

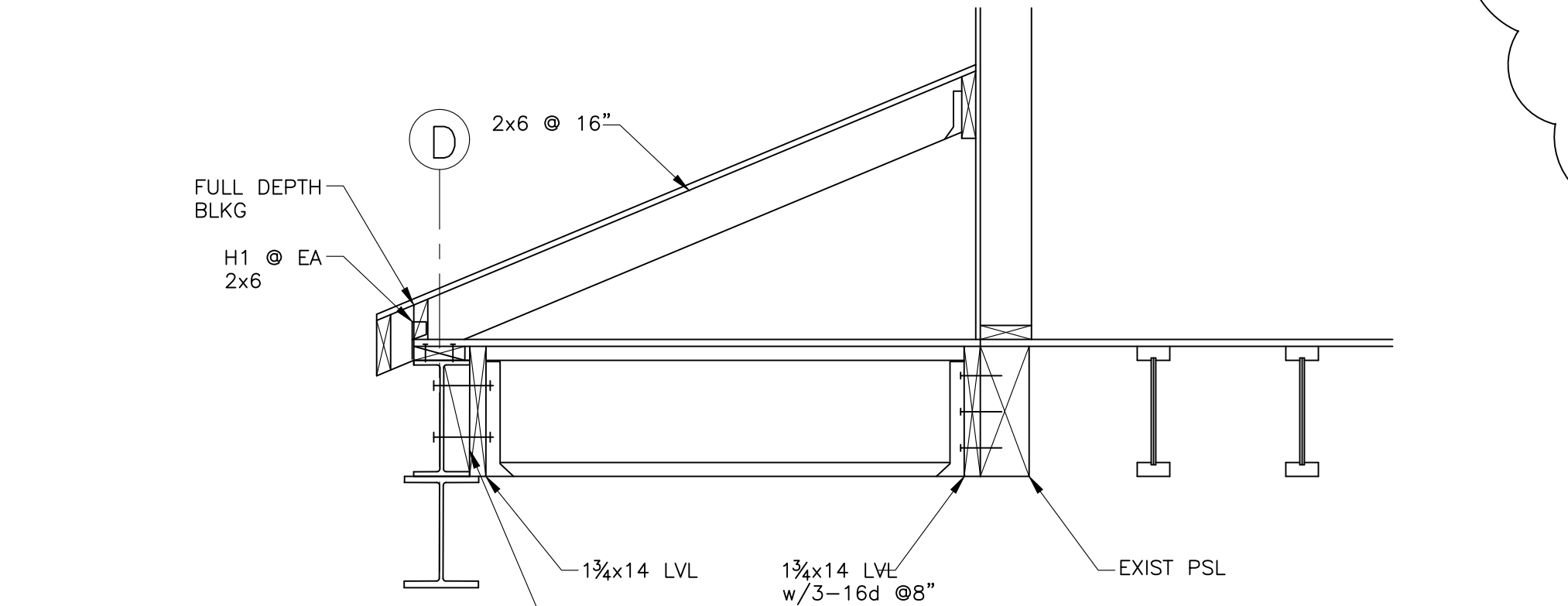
13 SECTION
 S4.2 SCALE: 3/4" = 1'-0"



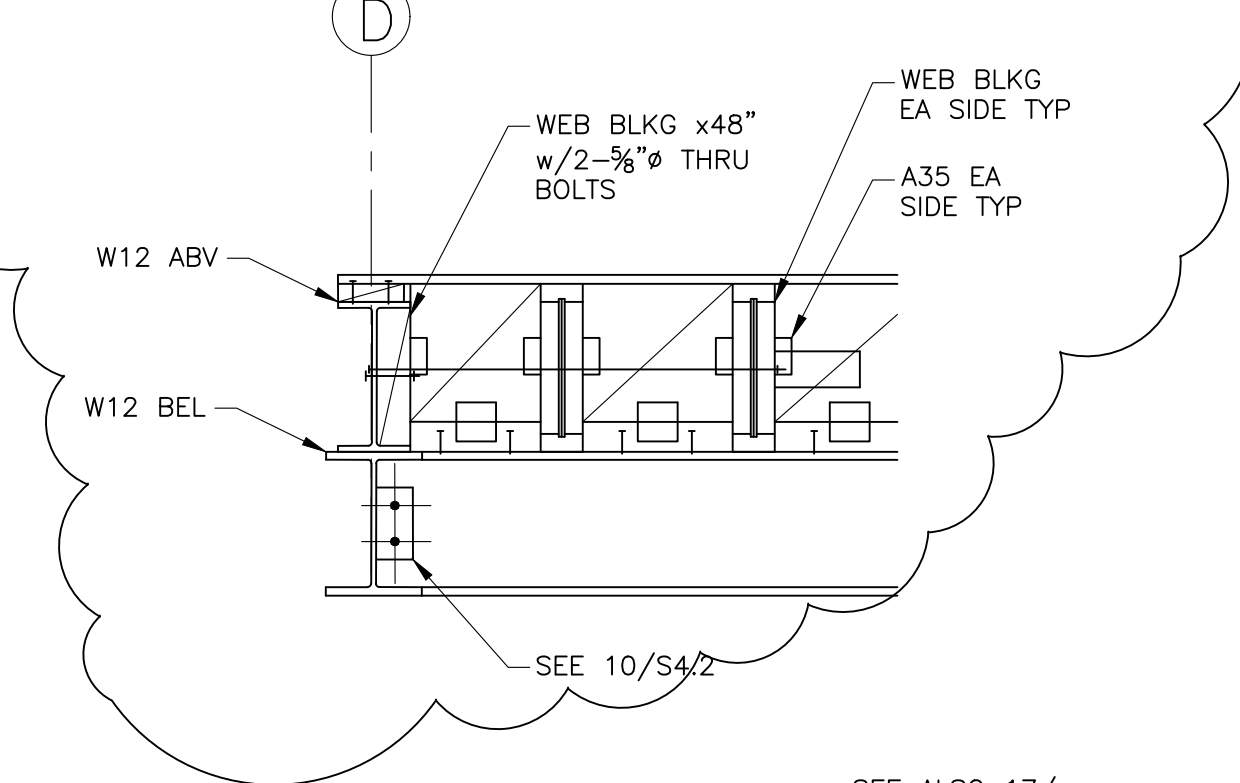
17 SECTION
 S4.2 SCALE: 3/4" = 1'-0"



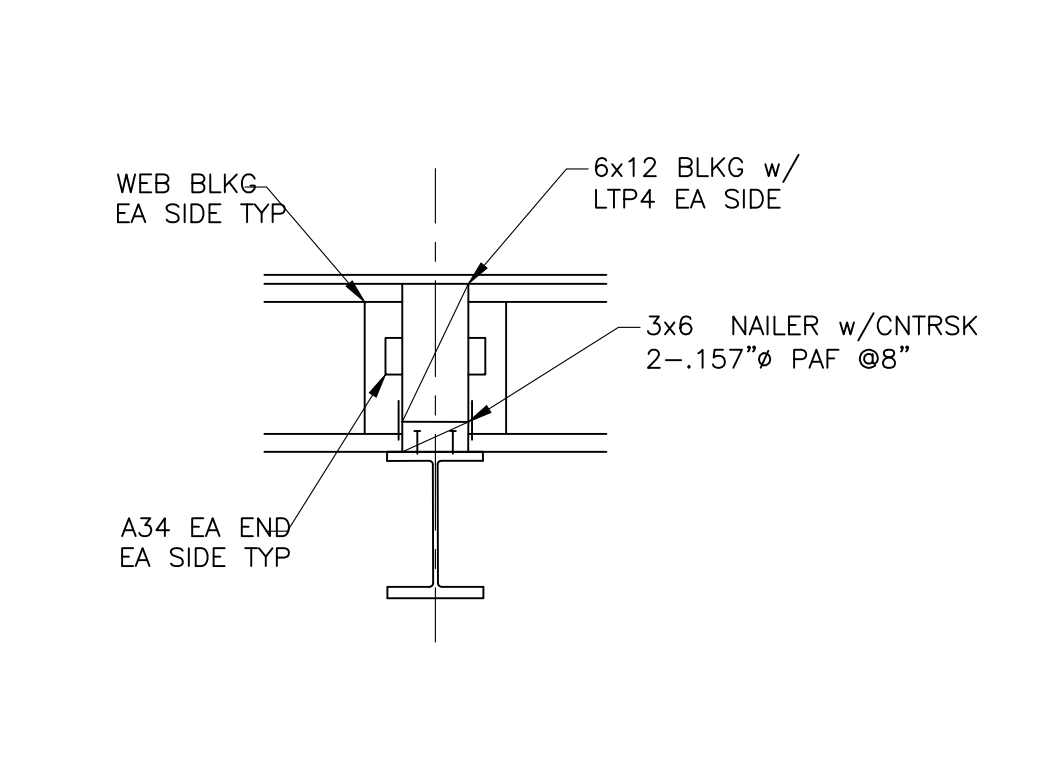
16 SECTION
 S4.2 SCALE: 3/4" = 1'-0"



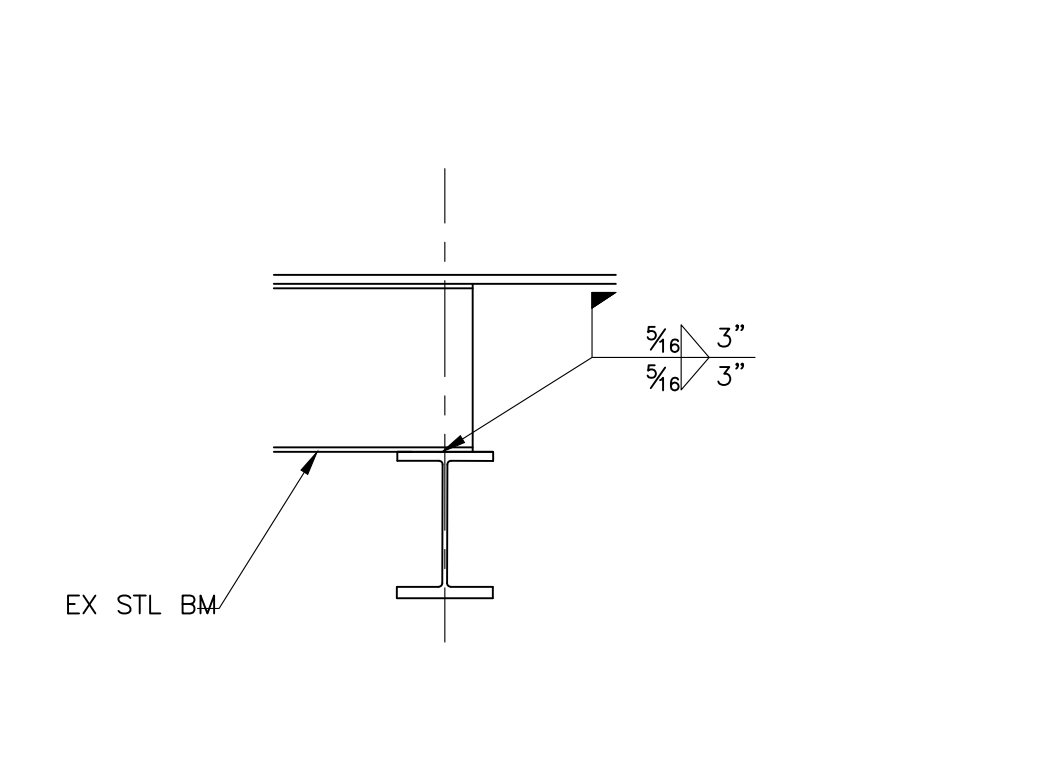
20 SECTION
 S4.2 SCALE: 3/4" = 1'-0"



18 SECTION
 S4.2 SCALE: 3/4" = 1'-0"



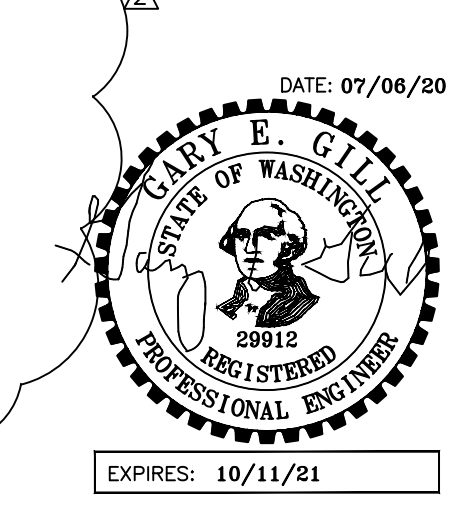
17 SECTION
 S4.2 SCALE: 3/4" = 1'-0"



16 SECTION
 S4.2 SCALE: 3/4" = 1'-0"

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CLIENT:
 LOUDEN RESIDENCE
 3315 97TH AVE SE
 MERCER ISLAND, WA

ISSUE:
 PERMIT SET 04/13/2020
 PERMIT COMM RESPONSE 07/06/2020
 PERMIT COMM II RESP 08/20/2020

DATE:
13 APRIL 2020

SHEET TITLE:
FRAMING DETAILS

SHEET:
S4.2

SEE ALSO 17/-